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SAP Code: 250060 / DP2123



Development & Planning Authority

STATES OF GUERNSEY
E-DOCS RECEIVED
03 MAR 2020

Sir Charles Frossard House
La Charroterie
St. Peter Port Guernsey
GY1 1FH
Tel: (01481) 717200
www.gov.gg
planning@gov.gg

APPLICATION FOR PLANNING PERMISSION

THE LAND PLANNING AND DEVELOPMENT (GUERNSEY) LAW, 2005 – AS AMENDED

Please complete in black ink using block capitals (2 copies of form and 4 copies of plans, etc to be submitted). Professional agents to submit 2 copies of the application form (1 electronic) and 4 copies of plans, etc (1 electronic).

For all applications, complete pages 1 & 2 of the form.

For all non-householder applications, please also complete pages 3 & 4 of the form.

APPLICANT'S DETAILS		AGENT'S DETAILS	
A	Name: MR & MRS P MILLS	Name:	
	Address: COROMANDEL LA PLANQUE LANE FOREST	Address:	
	Postcode: GY8 0DU	Postcode:	
	Tel: 01481264345	Tel:	
	Email: petermills@cwgsy.net	Email:	
		Ref:	

APPLICATION SITE	
B	Address: TWO ACRES, LA PLANQUE LANE, FOREST, GUERNSEY
	Postcode: GY8 0DU Cadastre ref (if known):
	Site Area in either verges/acres/hectares/square metres: 5140 SQ.M

PROPOSED DEVELOPMENT	
C	Is this application for: Planning Permission <input checked="" type="checkbox"/> Outline Permission <input type="checkbox"/> Reserved Matters <input type="checkbox"/>
	Description of the proposal, including any change of use: PROPOSED EXTENSION OF DOMESTIC CURTILAGE
	Has the proposal been the the subject of pre-application discussion with the Authority? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
	If yes, reference : / / . Case officer's name:
	Does the proposal require an Environmental Impact Assessment? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Has the development already commenced? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

FEES				
D	CATEGORY	NUMBER OF	FEE PER ITEM	TOTAL(£)
	10 A	x 1	£390	£390
Total Floor area of new building or extension (if roofspace, divide that floor area by 50%):			Sqm	N/A
Fee enclosed:				Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>


E TREES AND HEDGES	
Does the proposal involve the removal of trees or hedges?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
If Yes, please confirm that <u>all</u> trees/hedges to be removed AND <u>all</u> trees/hedges to remain have been indicated on the block plan:	<input checked="" type="checkbox"/>
Are any trees directly affected by or close to the proposed development subject to a Tree Protection Order (TPO)?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Reference Number of TPO:	
If Yes, please confirm that the submitted plans identify <u>all</u> protected trees affected by or close to the proposed development and <u>all</u> works to trees and roots.	<input type="checkbox"/>

F PROTECTED BUILDINGS/MONUMENTS	
Does the proposal involve works to a Protected Building/Monument?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If yes, please confirm that the submitted plans show full details of <u>all</u> proposed internal and external alterations/works and a statement to demonstrate that the special interest of the building has been considered at the outset.	<input type="checkbox"/>

G DEMOLITION	
Are any buildings/structures (including walls) to be demolished?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
If yes, please confirm that the submitted plans clearly indicate <u>all</u> buildings/structures to be demolished.	<input checked="" type="checkbox"/>

H PEDESTRIAN AND VEHICULAR ACCESS & PARKING	
Does the proposal involve alteration to or creation of a new vehicle access/ pedestrian access/car parking? (delete as appropriate):	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If yes, please confirm that the submitted plans clearly indicate <u>all</u> alterations to or creation of new access/car parking.	<input type="checkbox"/>

I MATERIALS	
Please confirm that <u>all</u> external materials (existing & proposed) including boundary treatments and hard surfaced areas are shown on the submitted plans.	<input checked="" type="checkbox"/>
Please confirm that a statement has been included to address the Sustainable Development matters and the Waste Management issues set out in Policy GP9 of the IDP, as appropriate.	<input type="checkbox"/>

J STATEMENT	
I am the owner of the site	<input checked="" type="checkbox"/>
I have the written consent of the owner(s) of any part of the land to make this application	<input type="checkbox"/>
I have made all reasonable enquiries to identify the owner and obtain consent (Please provide evidence)	<input type="checkbox"/>
I/we hereby apply for planning permission, as described in this form and the accompanying plans/ drawings , in accordance with the relevant legislation. I/we declare that to the best of my/our knowledge , all the particulars in this application are correct. I/we agree that any information given in this application may be disclosed to relevant Committees of the States of Guernsey, made accessible to the public, published in the local media and on the States of Guernsey website.	
SIGNATURE: 	NAME (Print): MR P MILLS
Date: 29/2/2020	Company Name (if applicable): Two Acres Limited

APPLICATION FOR PLANNING PERMISSION - PART 2
For all non-householder applications please complete pages 3 & 4 of the form.

RESIDENTIAL DEVELOPMENT			
K		Existing Units	Proposed Units
	• Dwelling houses		
	• Flats		
	• Sheltered Housing		
	• Specialised Housing		
	• Other Housing		
	Existing No of people	Proposed No of people	
	• Multiple occupation		
AFFORDABLE HOUSING			
L	Does Development Plan Policy GP11 (Affordable Housing) apply?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
	If yes, please confirm details of provision (land or units) are included	<input type="checkbox"/>	
	If unable to comply, please confirm reasons and viability assessment included	<input type="checkbox"/>	
OTHER DEVELOPMENT			
M	GIFA = Gross Internal Floor Area	Existing GIFA m2	Proposed GIFA m2
	• Retail convenience		
	• Retail other		
	• Food/drink		
	• Offices		
	• Industry/Storage & Distribution		
	• Sport/Recreation/Leisure		
	• Education/Community/Health		
	• Agriculture/Horticulture	4115	0
	• Infrastructure/Harbour/Airport		
		Existing bed spaces	Proposed bed spaces
	• Visitor Accommodation – Serviced		
	• Visitor Accommodation – Non-serviced		
• Staff accommodation			
	Existing GIFA m2	Proposed GIFA m2	
• Other Use (please specify)			
PARKING PROVISION			
N		Existing spaces	Proposed spaces
	• Car		
	• (of which disabled)		
	• Motorcycle		
	• Bicycle		

CHECKLIST (Please tick boxes) or indicate n/a

O

ALL PLANNING APPLICATIONS MUST INCLUDE THE FOLLOWING INFORMATION;
Please see the guidance notes, PN2 Making a Planning Application, for more details

Application Forms x2	<input checked="" type="checkbox"/>
Site Location Plan x 4	<input checked="" type="checkbox"/>
Block Layout Plan x 4	<input checked="" type="checkbox"/>
Drawings x 4	<input checked="" type="checkbox"/>
Fee - See Fees for Planning Applications	<input checked="" type="checkbox"/>

A NUMBER OF OTHER ITEMS MAY BE REQUIRED, DEPENDING ON THE PROPOSAL;

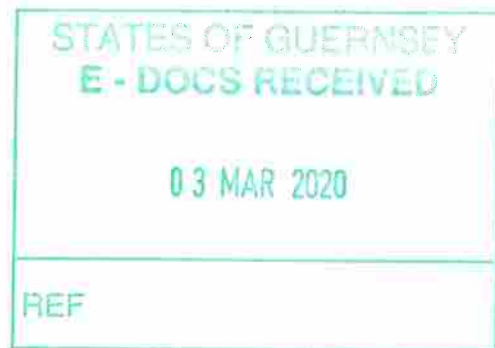
<p>Sustainable Checklist – a proportional response to IDP policy GP9 A brief written statement addressing the policy text should be submitted. As a minimum for small extensions to dwelling houses this should confirm that the design, including insulation, drainage, water efficiency, materials, waste storage and disposal and the conservation of fuel and power, also meets the current Building Regulations.</p>	<input type="checkbox"/>
<p>Waste Management Plan – for more significant applications, including demolition. Guidance is being drawn up on how to meet the requirements of IDP Policy GP9.</p>	<input type="checkbox"/>
<p>Construction and Environmental Management Plan (CEMP) for larger developments where construction work has the potential to cause disturbance to neighbouring properties during the construction period.</p>	<input type="checkbox"/>
<p>Dower Units – details of relationship between dower and principal dwelling. See Planning Advice Note No1 – Dower Units.</p>	<input type="checkbox"/>
<p>Traffic Impact Assessment (TIA) – See the Supplementary Planning Guidance on Parking Standards and Traffic Impact Assessment, section 9 for more guidance.</p>	<input type="checkbox"/>
<p>Affordable Housing viability – where affordable housing requirements of policy GP11 are not to be complied with, an explanation must be provided. See the Supplementary Planning Guidance on Affordable Housing, section 10 for more details.</p>	<input type="checkbox"/>
<p>Visitor viability – where change of use of visitor accommodation is proposed See Supplementary Planning Guidance on Change of Use of Visitor Accommodation to Non-Visitor Accommodation Use, for more guidance.</p>	<input type="checkbox"/>
<p>Telecommunications Certificate – A radiation certificate should accompany any applications for mobile phone masts.</p>	<input type="checkbox"/>
<p>Statement of Significance – For work to Protected Buildings.</p>	<input type="checkbox"/>
<p>Survey Plans – Required for work to Protected Buildings and conversions.</p>	<input checked="" type="checkbox"/>
<p>Agriculture Priority Areas – Report on suitability of land for farming purposes.</p>	<input type="checkbox"/>

Please submit 2 copies of this completed form, together with the required sets of plans and other supporting information to: The Office of the Development & Planning Authority, Sir Charles Frossard House, La Charroterie, St. Peter Port, Guernsey, GY1 1 FH.

Coromandel
La Planque Lane
Forest
Guernsey
GY8 0DU

29 February 2020

The Office of the Development & Planning Authority
Sir Charles Frossard House
PO Box 43
La Charroterie
St Peter Port
Guernsey
GY1 1FH



Dear Sir/Madam,

**Proposed Extension of Domestic Curtilage
Two Acres, La Planque Lane, Forest**

Please find enclosed four copies of Survey & Proposed Plans; together with a cheque in the sum of £390 for the fee applicable to Category 10A of the Planning Fee Schedule.

We also enclose two copies of the completed planning application form and request that consideration be made for Full Planning Permission.

Please note that 'Two Acres' is situated in an 'undesigned' zone as highlighted within the 'Island Development Plan 2016'. Regarding 'Policy GP15: Creation and Extension of Curtilage' we wish to note the following:

'Two Acres' was formally part of a larger working vinery site until the mid 1990's, at which point just under half of the site was sold off and designated for housing. At this time the remaining half of the 'Two Acres' site was retained for Agricultural use and since then the vinery site has been redundant and unable to be utilised for commercial purposes. During this time the remaining glasshouses have fallen into a state of disrepair. The reduced site area is too small to sustain growing on a commercial level and has no ancillary buildings (e.g. packing shed) to support any commercial growing.

We wish to note that the site is surrounded by residential development to the east, west and south. The site benefits from mature boundary features which have been established over time. Properties to the east are separated by a formal Lleylandii hedge; this hedge is very dense and was planted to formally divide the site as part of the original development proposals. The property to the west of the site (behind the existing glasshouses) is bounded by an existing formal high level wall. This boundary will be cleared back and tidied once the glasshouses have been removed, helping to improve the general outlook of the area. A traditional guernsey bank separates 'Two Acres' from

the adjacent 'Les Nouettes' lane. The bank will be retained in its entirety to ensure the proposals remain in keeping with the surrounding area.

Immediately north of 'Les Nouettes' is a zoned Agricultural Priority Area (APA) The lane separating the two sites is notoriously narrow and the northern site access to 'Two Acres' is also rather difficult to manoeuvre. Traditional Guernsey banks make the lane on either side. This considered; regular access between the two would be rather difficult, all the more so when working with agricultural plant and machinery. This is another reason why the site has failed to attract any interest for it's current use.

All of this being considered we propose to extend our domestic curtilage to the full extent of the site, demolishing all existing glasshouses and ancillary structures in the process. We also wish to remove the existing hedge (which demarks the current domestic curtilage) so that the entire space may be used as one formal lawned garden area. We intend to retain all existing boundary features for the reasons noted above.

We hope that this assists with our planning application and look forward to hearing from you in due course.

Yours faithfully

A handwritten signature in black ink, consisting of a stylized initial 'P' followed by a long, horizontal, slightly wavy line that tapers to a point on the right.

Mr & Mrs P Mills