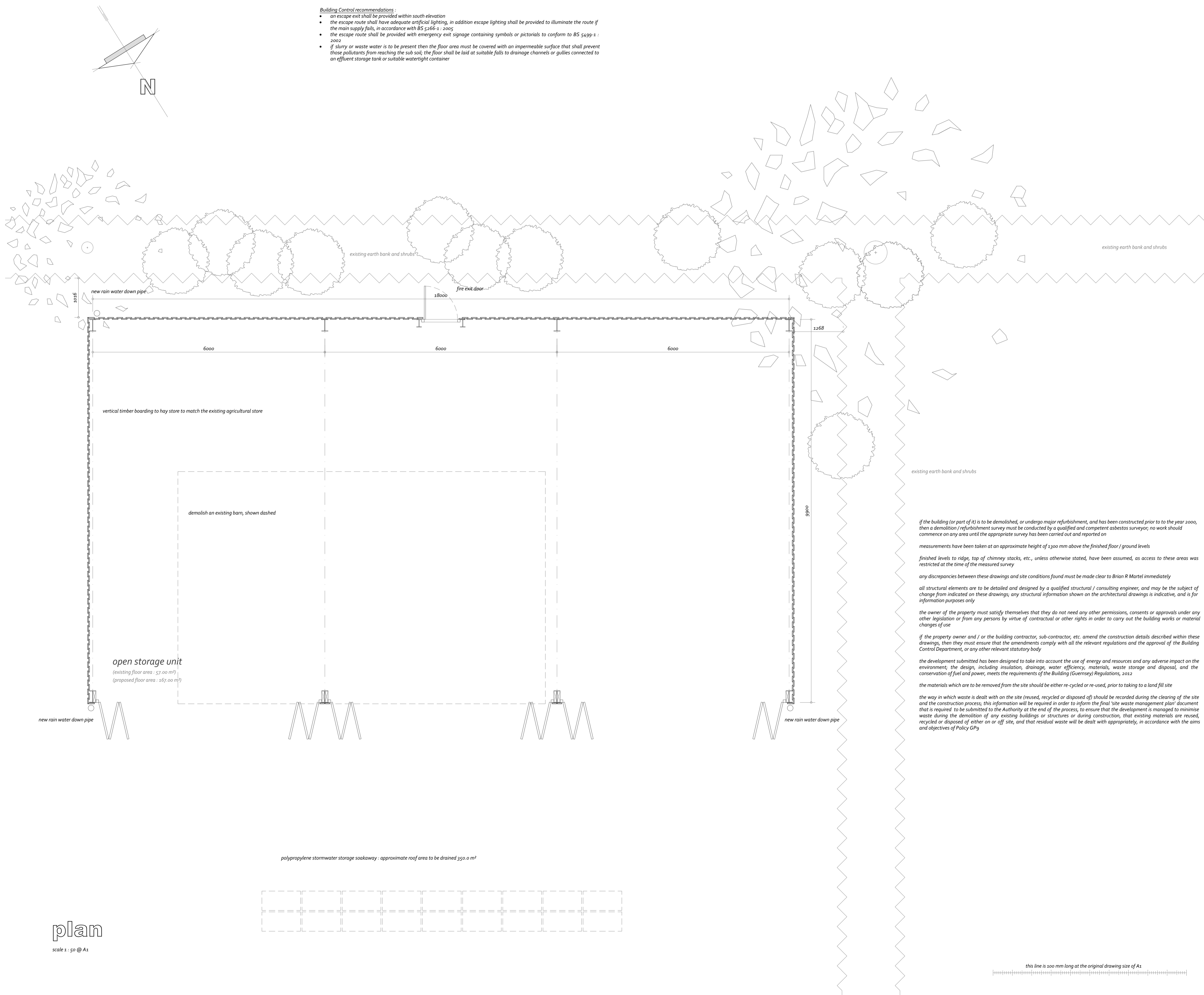


- Building Control recommendations:**
- an escape exit shall be provided within south elevation
  - the escape route shall have adequate artificial lighting, in addition escape lighting shall be provided to illuminate the route if the main supply fails, in accordance with BS 5266-1: 2005
  - the escape route shall be provided with emergency exit signage containing symbols or pictorials to conform to BS 5499-1: 2002
  - if slurry or waste water is to be present then the floor area must be covered with an impermeable surface that shall prevent those pollutants from reaching the sub soil; the floor shall be laid at suitable falls to drainage channels or gullies connected to an effluent storage tank or suitable watertight container



**GENERAL NOTES:**

DO NOT SCALE OFF THIS DRAWING - IF IN DOUBT ASK!!!

This drawing as an instrument of service, is the property of Brian R Martel MCIAT

All dimensions are to be checked on site by the Contractor, sub-Contractor, Contract Administrator, and / or builder, before the work commences, and any discrepancies found to be relevant must be reported to Brian R Martel MCIAT immediately

Detailed and larger scaled drawings take preference over scaled drawings

Drawings and details supplied by Consulting Engineer's, Mechanical and Electrical Engineer's, etc., may supersede the details indicated on these drawings

No guarantee will be given that the works will receive the necessary statutory approvals

All dimensions are in millimetres, and whilst every effort has been made to ensure accuracy, this cannot be guaranteed

This drawing may need to be read in conjunction with other drawings supplied by Brian R Martel, and / or other specialists in association with these works

Every effort has been undertaken to ensure that the drawings supplied are to the scale noted, no guarantee can be given that the printing process provides the exact scaled drawings, any discrepancies must be reported to Brian R Martel immediately

**PLANNING CONDITIONS:**

Once the development has been authorised by the granting of the planning permission, the development must be carried out and completed in every detail, in accordance with the written application, plans and drawings as approved, no variations to the development, amounting to development, may be made without the permission of the Development and Planning Authority

The development, as approved, must be begun within three years from the date of the notification of grant of planning permission

The development, as approved, and all the operations which constitute or are incidental to that development, must be carried out in compliance with all such requirements of the The Building (Guernsey) Regulations, 2012 as are applicable to them, and no operation to which such a requirement applies may be commenced or continued unless (i) plans relating to that operation have been approved by the Development and Planning Authority, and (ii) it is commenced or, as the case may be, continued, in accordance with that requirement and any further requirements imposed by the Development and Planning Authority when approving those plans, for the purpose of ensuring that the building regulations are complied with

It is important to note the expiry date of the Notification of Grant of Planning Permission, as this terminates the approval; two approved documents from both Planning Service and Building Control, need to be valid otherwise the proposed development cannot be commenced, even if the Building Licence expiry date is later than the Planning Permission expiry date, if this is the case then a new Planning application is required to enable the works to commence

**BUILDING LICENCE CONDITIONS:**

Under The Building (Guernsey) Regulations, 2012, a person who proposes to carry out building work must give the Department notice of the proposed commencement date of certain stages of the work before commencing that work

Where building work has commenced, but is stopped for a period of more than one year, the Department may, under The Building (Guernsey) Regulations, 2012, at any time before work is recommenced, give notice to the person to whom the licence was granted, that the licence is no longer valid

The Building Control Division must be notified by the client / builder / contractor when reaching the stages of work specified on the Builders Information Sheet, which accompanies the Building Licence and Approved Plans

Consequential improvements of a buildings thermal performance will be required when building work is undertaken on its external envelope, as outlined in The Building (Guernsey) Regulations, 2012; where at least 50% of the surface of an individual thermal element is being renovated or replaced, or 25% of the total building envelope is being renovated or replaced, the thermal elements must achieve the u-values to comply with the relevant building regulation

It is the responsibility of the property owner to ensure that all the necessary inspections are carried out by the Development and Planning Authority's Building Control Surveyors; the statutory notifications are listed on the Builders Information Sheet; the Development and Planning Authority will be unable to issue a completion certificate for these controlled building works if the notifications have not been received; this may cause difficulties for a property owner in the future when they look to sell the property; the Development and Planning Authority will need to declare on the immunity Certificate, any outstanding matters and where life safety issues are identified, enforcement action may be taken

The client, the clients representative, main contractor, sub contractor's, etc. must satisfy themselves that they do not need any other permissions, consents or approvals under any other legislation or from any persons by virtue of contractual or other rights in order to carry out the building works or material changes of use

**REVISIONS:**

existing site levels shown thus : +100.000  
proposed site levels shown thus : +100.000

if the building (or part of it) is to be demolished, or undergo major refurbishment, and has been constructed prior to the year 2000, then a demolition / refurbishment survey must be conducted by a qualified and competent asbestos surveyor; no work should commence on any area until the appropriate survey has been carried out and reported on

measurements have been taken at an approximate height of 1300 mm above the finished floor / ground levels

finished levels to ridge, top of chimney stacks, etc., unless otherwise stated, have been assumed, as access to these areas was restricted at the time of the measured survey

any discrepancies between these drawings and site conditions found must be made clear to Brian R Martel immediately

all structural elements are to be detailed and designed by a qualified structural / consulting engineer, and may be the subject of change from indicated on these drawings; any structural information shown on the architectural drawings is indicative, and is for information purposes only

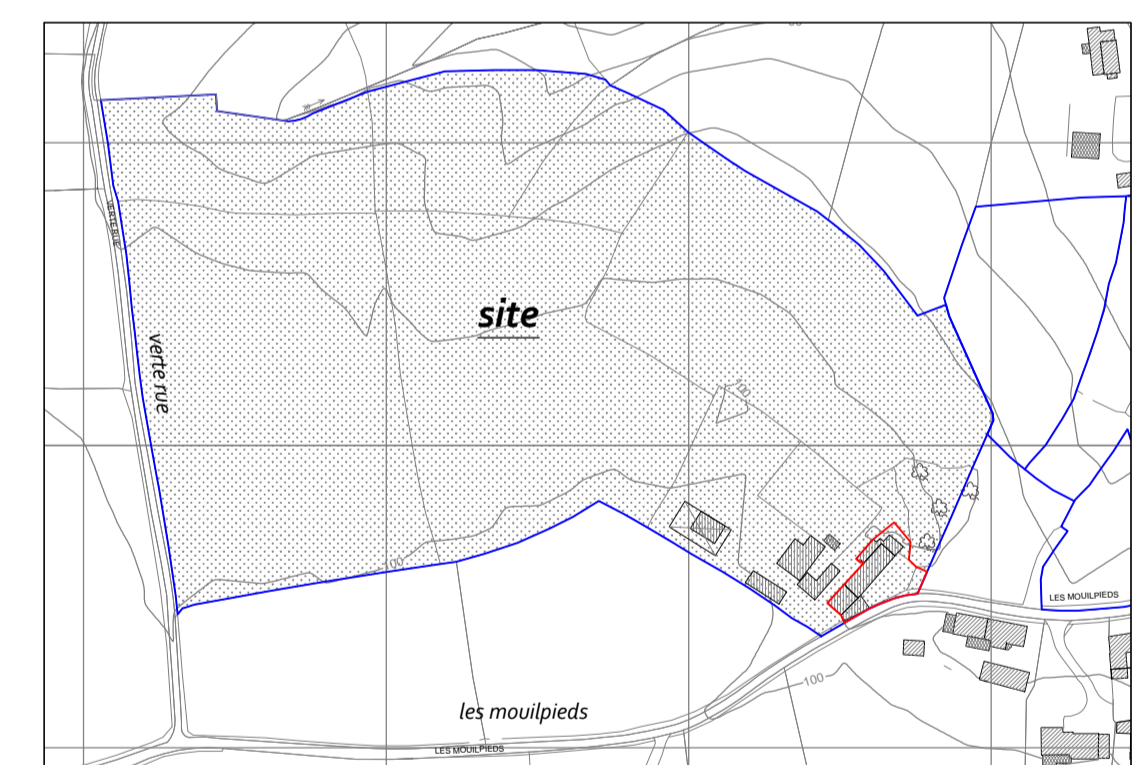
the owner of the property must satisfy themselves that they do not need any other permissions, consents or approvals under any other legislation or from any persons by virtue of contractual or other rights in order to carry out the building works or material changes of use

if the property owner and / or the building contractor, sub-contractor, etc. amend the construction details described within these drawings, then they must ensure that the amendments comply with all the relevant regulations and the approval of the Building Control Department, or any other relevant statutory body

the development submitted has been designed to take into account the use of energy and resources and any adverse impact on the environment; the design, including insulation, drainage, water efficiency, materials, waste storage and disposal, and the conservation of fuel and power, meets the requirements of the Building (Guernsey) Regulations, 2012

the materials which are to be removed from the site should be either re-cycled or re-used, prior to taking to a land fill site

the way in which waste is dealt with on the site (reused, recycled or disposed of) should be recorded during the clearing of the site and the construction process; this information will be required in order to inform the final 'site waste management plan' document that is required to be submitted to the Authority at the end of the process, to ensure that the development is managed to minimise waste during the demolition of any existing buildings or structures or during construction, that existing materials are reused, recycled or disposed of either on or off site, and that residual waste will be dealt with appropriately, in accordance with the aims and objectives of Policy GP9



**location plan**

approximate scale : 1:2500 - for identification purposes only DO NOT SCALE OFF THIS PLAN

this location plan has been taken from a map of the island of Guernsey dated 2004

<b>Client</b>	Mr D C Mahy	
<b>Project</b>	Proposed re-construction and extension to an existing outbuilding at Les Gacheres Les Moulipieds - St Martin's - Guernsey	
<b>Drawing</b>	Planning Permission drawing Ground floor plan	
<b>Scale</b>	1:50 @ A1	<b>Drawn</b> lsm
		<b>Date</b> December 2019
<p><b>Brian R Martel</b> Chartered Member of the Chartered Institute of Architectural Technologists established 1994</p> <p>Vandola - Route de la Lague à L'Érée - St Pierre du Bois - Guernsey - GY7 9HT telephone : 00354 267320 or 07781 163657 e-mail : brrmartel@cojsgy.net</p>		
<b>Drawing number</b>	<b>4099.02.01</b>	<b>Revision</b>

**plan**

scale 1 : 50 @ A1

this line is 100 mm long at the original drawing size of A1