



GUERNSEY'S CREATIVE
SIGN & PRINT COMPANY

T: 01481 247749
accounts@smithsigns.co.uk
PO BOX 42
LONGUE HOUGUE LANE
ST SAMPSON'S
GUERNSEY
GY1 3BF

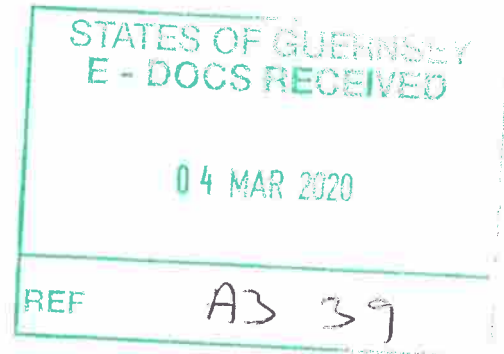
INCORPORATING



T: 01481 200999
www.hot-lines.co.uk

The Minister
The Planning Department
Environment Section
Sir Charles Frossard House
St Peter Port
Guernsey GY1 1FH

03 March 2020



Dear Sir,

I have been asked by my client Mr Vaughan Davies of Vinyl Vaughan to submit an application for permission to install two wall mounted dutch awnings at their premises.

I have included for consideration concept drawings and specifications for the proposed signage.

With respect to section F (Protected Buildings). I can confirm that my client and I have given full consideration to the overall aesthetics of the building and the Arcade itself before submitting this application.

My client will be opening the new shop on the 10th April 2020, please treat this application as urgent.

All necessary paperwork is enclosed including all fees.

If you have any questions regarding any of the above please don't hesitate to contact us on 01481 247 749.

Many Thanks

Dan Smith
For Smith Signs Limited



Development &
Planning Authority

STATES OF GUERNSEY
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SAP Code: 250060 / DP2123

04 MAR 2020

Sir Charles Frossard House
La Charroterie
St. Peter Port Guernsey
GY1 1FH

Tel: (01481) 717200
www.gov.gg
planning@gov.gg

APPLICATION FOR PLANNING PERMISSION

THE LAND PLANNING AND DEVELOPMENT
(GUERNSEY) LAW, 2005 – AS AMENDED

AB 39

Please complete in black ink using block capitals (2 copies of form and 4 copies of plans, etc to be submitted).
Professional agents to submit 2 copies of the application form (1 electronic) and 4 copies of plans, etc (1 electronic).

For all applications, complete pages 1 & 2 of the form.

For all non-householder applications, please also complete pages 3 & 4 of the form.

APPLICANT'S DETAILS		AGENT'S DETAILS	
A	Name: VAUGHAN DAVIES	Name: DAN SMITH / SMITH SIGNS LTD	
	Address: 41 COMMERCIAL ARCADE ST PETER PORT GUERNSEY	Address: LONGUE RUE HOUSE LONGUE RUE ROAD, ST SAMPSONS	
	Postcode: GY1 1LB	Postcode: GY1 3BF	
	Tel: 07781 124828	Tel: 01481 247749	
	Email: vaughan.davies@cwgsy.net	Email: DAN.GARNHAM@SMITHSIGNS.CO.UK	
		Ref:	

APPLICATION SITE	
B	Address: 41 COMMERCIAL ARCADE, ST PETER PORT, GUERNSEY
	Postcode: GY1 1LB Cadastre ref (if known): Not Known
	Site Area in either verges/acres/hectares/square metres:

PROPOSED DEVELOPMENT	
C	Is this application for: Planning Permission <input checked="" type="checkbox"/> Outline Permission <input type="checkbox"/> Reserved Matters <input type="checkbox"/>
	Description of the proposal, including any change of use: x2 NEW DUTCH STYLE AWNINGS
	Has the proposal been the the subject of pre-application discussion with the Authority? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
	If yes, reference : / / . Case officer's name:
	Does the proposal require an Environmental Impact Assessment? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
	Has the development already commenced? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

FEES				
D	CATEGORY	NUMBER OF	FEE PER ITEM	TOTAL(£)
	9B	2	£180	£360
	Total Floor area of new building or extension (if roofspace, divide that floor area by 50%):			Sqm
Fee enclosed: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>				

E TREES AND HEDGES

Does the proposal involve the removal of trees or hedges?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If Yes, please confirm that <u>all</u> trees/hedges to be removed AND <u>all</u> trees/hedges to remain have been indicated on the block plan:	<input type="checkbox"/>
Are any trees directly affected by or close to the proposed development subject to a Tree Protection Order (TPO)?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Reference Number of TPO:	
If Yes, please confirm that the submitted plans identify <u>all</u> protected trees affected by or close to the proposed development and <u>all</u> works to trees and roots.	<input type="checkbox"/>

F PROTECTED BUILDINGS/MONUMENTS

Does the proposal involve works to a Protected Building/Monument?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
If yes, please confirm that the submitted plans show full details of <u>all</u> proposed internal and external alterations/works and a statement to demonstrate that the special interest of the building has been considered at the outset.	<input checked="" type="checkbox"/>

G DEMOLITION

Are any buildings/structures (including walls) to be demolished?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If yes, please confirm that the submitted plans clearly indicate <u>all</u> buildings/structures to be demolished.	<input type="checkbox"/>


H PEDESTRIAN AND VEHICULAR ACCESS & PARKING

Does the proposal involve alteration to or creation of a new vehicle access/ pedestrian access/car parking? (delete as appropriate):	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If yes, please confirm that the submitted plans clearly indicate <u>all</u> alterations to or creation of new access/car parking.	<input type="checkbox"/>

I MATERIALS

Please confirm that <u>all</u> external materials (existing & proposed) including boundary treatments and hard surfaced areas are shown on the submitted plans.	<input checked="" type="checkbox"/>
Please confirm that a statement has been included to address the Sustainable Development matters and the Waste Management issues set out in Policy GP9 of the IDP, as appropriate.	<input checked="" type="checkbox"/>

J STATEMENT

I am the owner of the site	<input type="checkbox"/>
I have the written consent of the owner(s) of any part of the land to make this application	<input checked="" type="checkbox"/>
I have made all reasonable enquiries to identify the owner and obtain consent (Please provide evidence)	<input type="checkbox"/>
I/we hereby apply for planning permission, as described in this form and the accompanying plans/drawings, in accordance with the relevant legislation. I/we declare that to the best of my/our knowledge, all the particulars in this application are correct. I/we agree that any information given in this application may be disclosed to relevant Committees of the States of Guernsey, made accessible to the public, published in the local media and on the States of Guernsey website.	
SIGNATURE: 	NAME (Print): DANIEL SMITH
Date: 03 / 03 / 20	Company Name (if applicable) SMITH SIGNS LTD

APPLICATION FOR PLANNING PERMISSION - PART 2
 For all non-householder applications please complete pages 3 & 4 of the form.

RESIDENTIAL DEVELOPMENT

K

	Existing Units	Proposed Units
• Dwelling houses		
• Flats		
• Sheltered Housing		
• Specialised Housing		
• Other Housing		
	Existing No of people	Proposed No of people
• Multiple occupation		

L

AFFORDABLE HOUSING

Does Development Plan Policy GP11 (Affordable Housing) apply?	Yes <input type="checkbox"/> No <input type="checkbox"/>
If yes, please confirm details of provision (land or units) are included	<input type="checkbox"/>
If unable to comply, please confirm reasons and viability assessment included	<input type="checkbox"/>

OTHER DEVELOPMENT

M

GIFA = Gross Internal Floor Area	Existing GIFA m2	Proposed GIFA m2
• Retail convenience		
• Retail other		
• Food/drink		
• Offices		
• Industry/Storage & Distribution		
• Sport/Recreation/Leisure		
• Education/Community/Health		
• Agriculture/Horticulture		
• Infrastructure/Harbour/Airport		
	Existing bed spaces	Proposed bed spaces
• Visitor Accommodation – Serviced		
• Visitor Accommodation – Non-serviced		
• Staff accommodation		
	Existing GIFA m2	Proposed GIFA m2
• Other Use (please specify)		

PARKING PROVISION

N

	Existing spaces	Proposed spaces
• Car		
• (of which disabled)		
• Motorcycle		
• Bicycle		

CHECKLIST (Please tick boxes) or indicate n/a

O

ALL PLANNING APPLICATIONS MUST INCLUDE THE FOLLOWING INFORMATION;
Please see the guidance notes, PN2 Making a Planning Application, for more details

Application Forms x2	■
Site Location Plan x 4	■
Block Layout Plan x 4	■
Drawings x 4	■
Fee - See Fees for Planning Applications	■

A NUMBER OF OTHER ITEMS MAY BE REQUIRED, DEPENDING ON THE PROPOSAL;

<p>Sustainable Checklist – a proportional response to IDP policy GP9 A brief written statement addressing the policy text should be submitted. As a minimum for small extensions to dwelling houses this should confirm that the design, including insulation, drainage, water efficiency, materials, waste storage and disposal and the conservation of fuel and power, also meets the current Building Regulations.</p>	N/A
<p>Waste Management Plan – for more significant applications, including demolition. Guidance is being drawn up on how to meet the requirements of IDP Policy GP9.</p>	N/A
<p>Construction and Environmental Management Plan (CEMP) for larger developments where construction work has the potential to cause disturbance to neighbouring properties during the construction period.</p>	N/A
<p>Dower Units – details of relationship between dower and principal dwelling. See Planning Advice Note No1 – Dower Units.</p>	N/A
<p>Traffic Impact Assessment (TIA) – See the Supplementary Planning Guidance on Parking Standards and Traffic Impact Assessment, section 9 for more guidance.</p>	N/A
<p>Affordable Housing viability – where affordable housing requirements of policy GP11 are not to be complied with, an explanation must be provided. See the Supplementary Planning Guidance on Affordable Housing, section 10 for more details.</p>	N/A
<p>Visitor viability – where change of use of visitor accommodation is proposed See Supplementary Planning Guidance on Change of Use of Visitor Accommodation to Non-Visitor Accommodation Use, for more guidance.</p>	N/A
<p>Telecommunications Certificate – A radiation certificate should accompany any applications for mobile phone masts.</p>	N/A
<p>Statement of Significance – For work to Protected Buildings.</p>	N/A
<p>Survey Plans – Required for work to Protected Buildings and conversions.</p>	N/A
<p>Agriculture Priority Areas – Report on suitability of land for farming purposes.</p>	N/A

Please submit 2 copies of this completed form, together with the required sets of plans and other supporting information to: The Office of the Development & Planning Authority, Sir Charles Frossard House, La Charroterie, St. Peter Port, Guernsey, GY1 1 FH.



ENVIRONMENT

A STATES OF GUERNSEY GOVERNMENT DEPARTMENT

Sir Charles Frossard House,
PO Box 43, La Charroterie,
St. Peter Port, Guernsey,
GY1 1FH.
Tel: (01481) 717200
Fax: (01481) 717099
www.gov.gg

OWNER'S DECLARATION FORM

IF YOU ARE NOT THE OWNER OF THE PROPERTY OR LAND, PLEASE ENSURE THIS OWNER'S DECLARATION FORM IS COMPLETED AND SIGNED, BEFORE APPLYING FOR ANY OF 1, 2, or 3 BELOW.

I hereby confirm that the following person/s:

Vaughan Davies, Davlin, Les Osmonds,
.....
St Sampsons, Guernsey, GY2 4GG.
.....
.....

have my authority to make the following

Planning / Building Control Enquiry

in respect of my property at:

STATES OF GUERNSEY
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04 MAR 2020

REF

Address: 41 Commercial Arcade, St Peter Port,
.....
Guernsey, GY1 1LB.
.....
.....

Owner's Name: Walter Property Limited
.....

Owner's Address: Le Coudre, Route du Coudre,
.....
St Pierre du Bois, Guernsey, GY7 9HZ.
.....
.....

Owner's Signature: 
.....

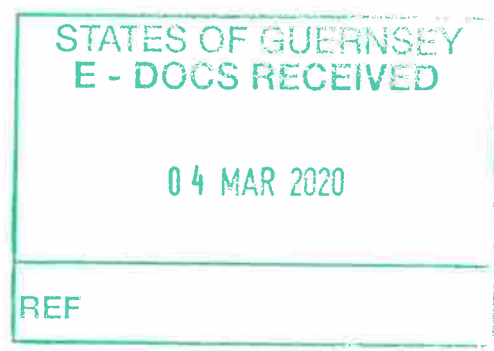
Date: 26/02/20
.....
J. WATTS - WATTS PROPERTY
CONSULTANTS LIMITED, AS AGENT
FOR AND ON BEHALF OF
WALTER PROPERTY LIMITED.

Entrance Awning

Spec:

Material: Sunkut - Blackcurrent - S165
Graphics - Handpainted (White)
Fixings: Wall mounted with lightweight ally frame
Finish: Satin

Fitting location



Entrance Awning

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04 MAR 2020

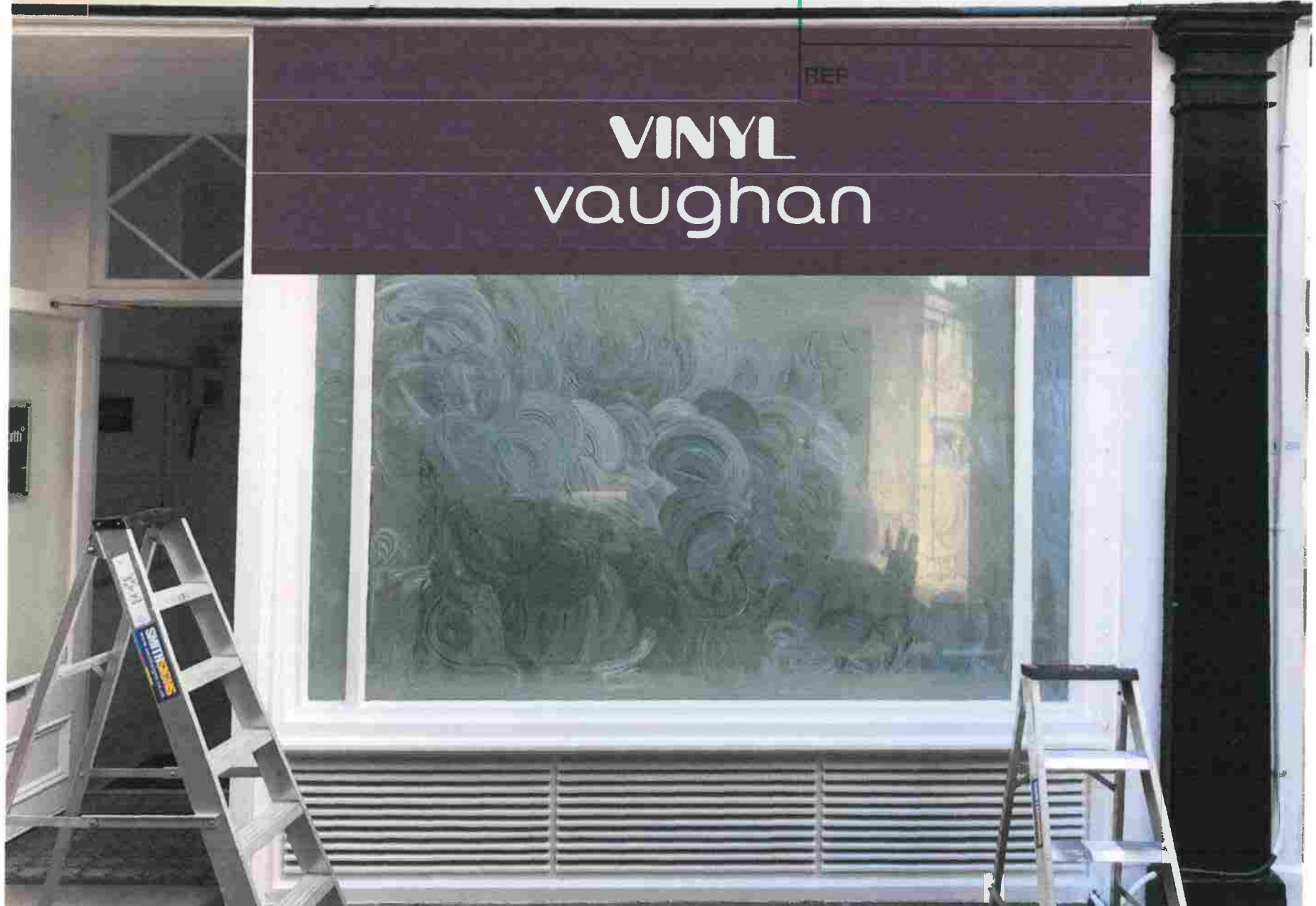
800mm Projection

VINYL
vaughan

Bottom of awning
to floor level
2245mm

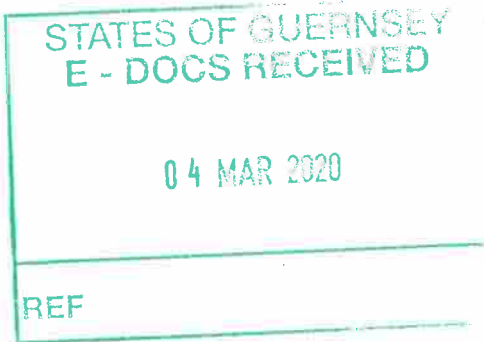
1753mm
(average UK
male height)

04 MAR 2020



Side Wall Awning

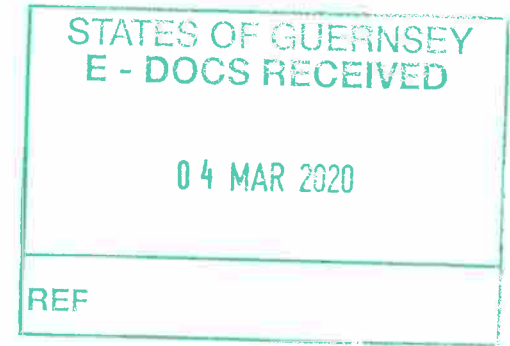
Spec:
Material: Sunkut - Blackcurrent - S165
Graphics - Handpainted (White)
Fixings: Wall mounted with lightweight ally frame
Finish: Satin



Fitting location



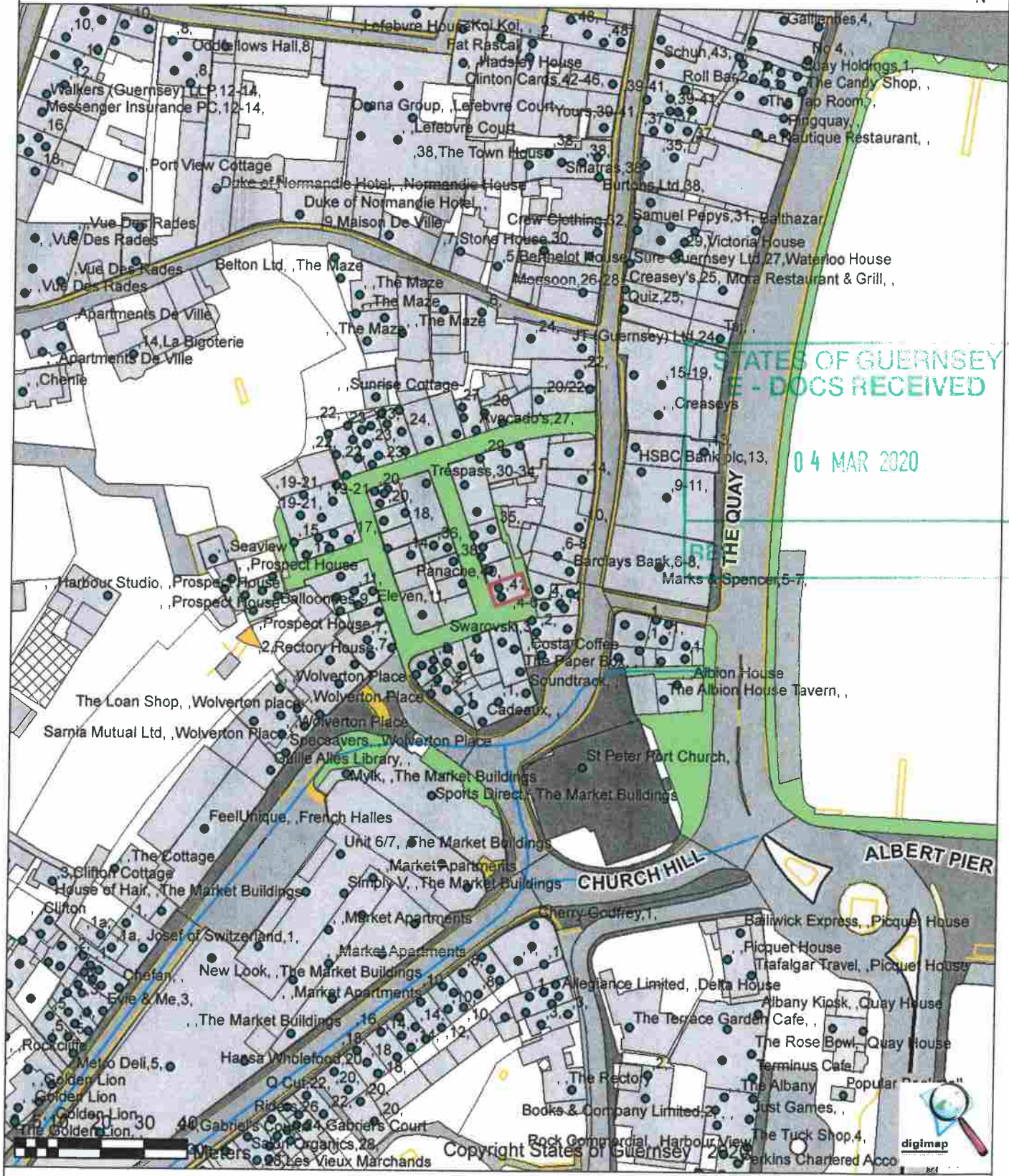
Side Wall Awning



Entrance Awning



Application Site Location Plan



41
Commercial Arcade
St. Peter Port
GUERNSEY
GY1 1LB

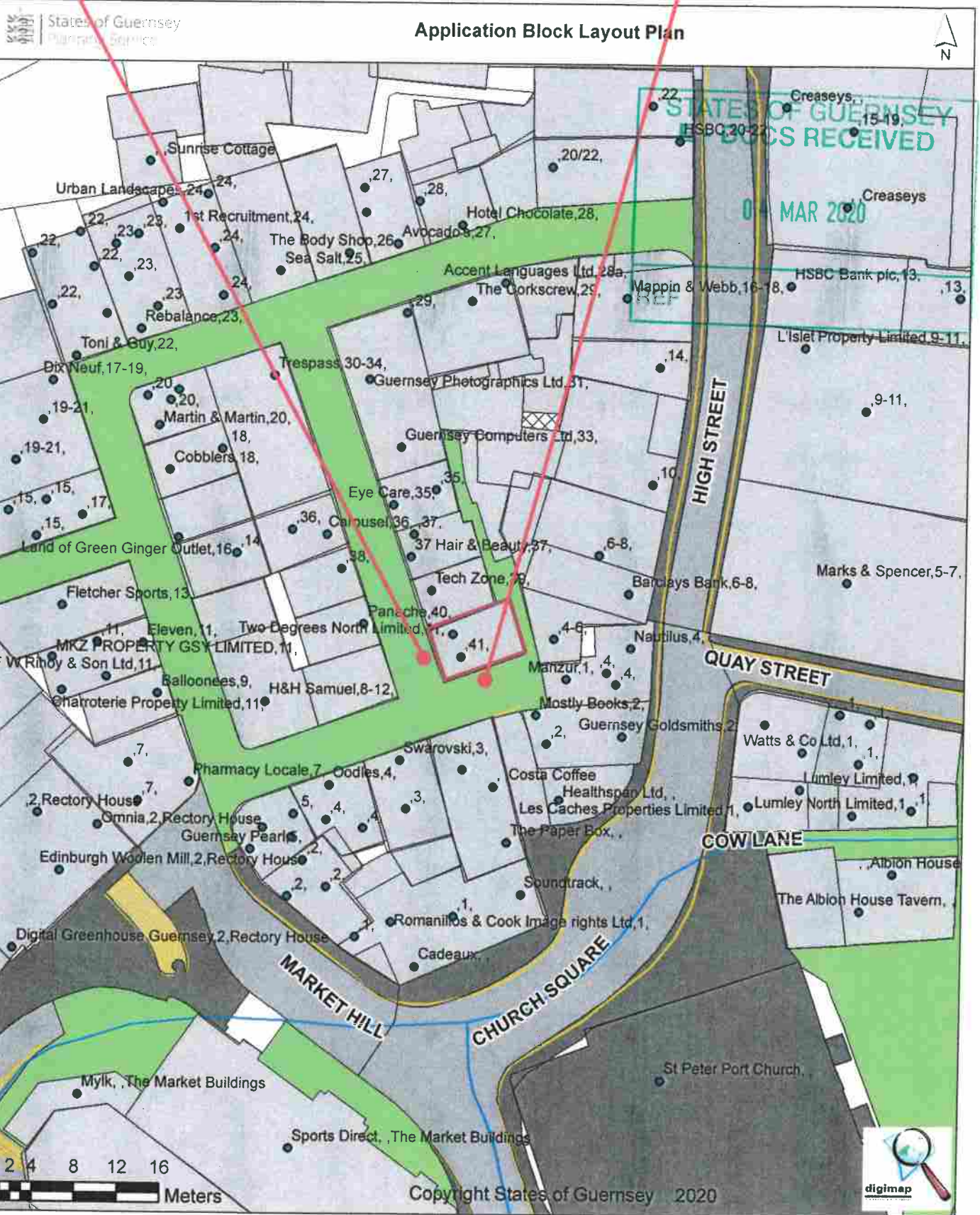
Applicants Name : Daniel Smith - Smith Signs
NB Please indicate any amendments required to the address shown :-

Scale 1:1,250

NB The details on this plan are illustrative, not defined. The coloured boundary illustrated above does not necessarily indicate the extent of the property or cartilage.

Entrance Awning

Side Wall Awning



41
 Commercial Arcade
 St. Peter Port
 GUERNSEY
 GY1 1LB

Applicants Name : Daniel Smith - Smith Signs
 NB Please indicate any amendments required to the address shown :-

Scale 1:500

NB. The details on this plan are illustrative, not defined. The coloured boundary illustrated above does not necessarily indicate the extent of the property or curtilage.