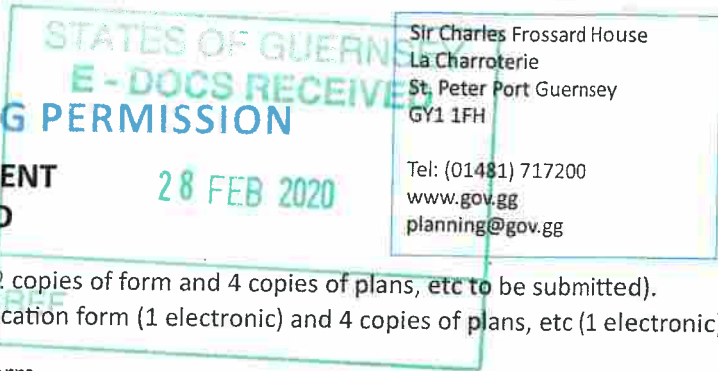




APPLICATION FOR PLANNING PERMISSION

THE LAND PLANNING AND DEVELOPMENT (GUERNSEY) LAW, 2005 – AS AMENDED



Sir Charles Frossard House
La Charroterie
St. Peter Port Guernsey
GY1 1FH

Tel: (01481) 717200
www.gov.gg
planning@gov.gg

Please complete in black ink using block capitals (2 copies of form and 4 copies of plans, etc to be submitted). Professional agents to submit 2 copies of the application form (1 electronic) and 4 copies of plans, etc (1 electronic).

For all applications, complete pages 1 & 2 of the form.

For all non-householder applications, please also complete pages 3 & 4 of the form.

APPLICANT'S DETAILS		AGENT'S DETAILS	
A	Name: GLENN KENNY	Name:	
	Address: THE KENNINGS, AVENUE DU MANOIR, VILLE AU ROI, ST PETER PORT	Address:	
	Postcode: GY1 1PE	Postcode:	
	Tel: 07781 142931	Tel:	
	Email: glennkenny345@gmail.com	Email:	
		Ref:	

APPLICATION SITE	
B	Address: THE KENNINGS, AVENUE DU MANOIR, VILLE AU ROI, ST PETER PORT
	Postcode: GY1 1PE Cadastre ref (if known):
	Site Area in either vergées/acres/hectares/square metres:

PROPOSED DEVELOPMENT	
C	Is this application for: Planning Permission <input type="checkbox"/> Outline Permission <input checked="" type="checkbox"/> Reserved Matters <input type="checkbox"/>
	Description of the proposal, including any change of use: TAKE DOWN EXISTING FLAT ROOF EXTENSION AND REPLACE 1 METRE WIDER
	Has the proposal been the the subject of pre-application discussion with the Authority? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
	If yes, reference : PREA/2019/0503 . Case officer's name: JAMES DOREY
	Does the proposal require an Environmental Impact Assessment? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
	Has the development already commenced? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

FEES			
D	CATEGORY	NUMBER OF	FEE PER ITEM
			TOTAL(£)
			£220
	Total Floor area of new building or extension (if roofspace, divide that floor area by 50%):		32 Sqm
	Fee enclosed:		Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

E TREES AND HEDGES

Does the proposal involve the removal of trees or hedges? Yes No

If Yes, please confirm that all trees/hedges to be removed AND all trees/hedges to remain have been indicated on the block plan:

Are any trees directly affected by or close to the proposed development subject to a Tree Protection Order (TPO)? Yes No

Reference Number of TPO:

If Yes, please confirm that the submitted plans identify all protected trees affected by or close to the proposed development and all works to trees and roots.

F PROTECTED BUILDINGS/MONUMENTS

Does the proposal involve works to a Protected Building/Monument? Yes No

If yes, please confirm that the submitted plans show full details of all proposed internal and external alterations/works and a statement to demonstrate that the special interest of the building has been considered at the outset.

G DEMOLITION

Are any buildings/structures (including walls) to be demolished? Yes No

If yes, please confirm that the submitted plans clearly indicate all buildings/structures to be demolished.

H PEDESTRIAN AND VEHICULAR ACCESS & PARKING

Does the proposal involve alteration to or creation of a new vehicle access/ pedestrian access/car parking? (delete as appropriate): Yes No

If yes, please confirm that the submitted plans clearly indicate all alterations to or creation of new access/car parking.

I MATERIALS

Please confirm that all external materials (existing & proposed) including boundary treatments and hard surfaced areas are shown on the submitted plans.

Please confirm that a statement has been included to address the Sustainable Development matters and the Waste Management issues set out in Policy GP9 of the IDP, as appropriate.

J STATEMENT

I am the owner of the site

I have the written consent of the owner(s) of any part of the land to make this application

I have made all reasonable enquiries to identify the owner and obtain consent (Please provide evidence)

I/we hereby apply for planning permission, as described in this form and the accompanying plans/drawings, in accordance with the relevant legislation. I/we declare that to the best of my/our knowledge, all the particulars in this application are correct. I/we agree that any information given in this application may be disclosed to relevant Committees of the States of Guernsey, made accessible to the public, published in the local media and on the States of Guernsey website.

SIGNATURE 

NAME (Print): GLENN KENNY

Date: 12/02/20

Company Name (if applicable)

STATES OF GUERNSEY
E-DOCS RECEIVED



28 FEB 2020

REF



Copyright States of Guernsey 2019

The Kennings
Avenue Du Manoir
Ville au Roi
St. Peter Port
GUERNSEY
GY1 1PE

Applicants Name :
NB Please indicate any amendments required to the address shown :-

Scale 1:500

NB The details on this plan are illustrative, not defined. The coloured boundary illustrated above does not necessarily indicate the extent of the property or curtilage.

STATES OF GUERNSEY
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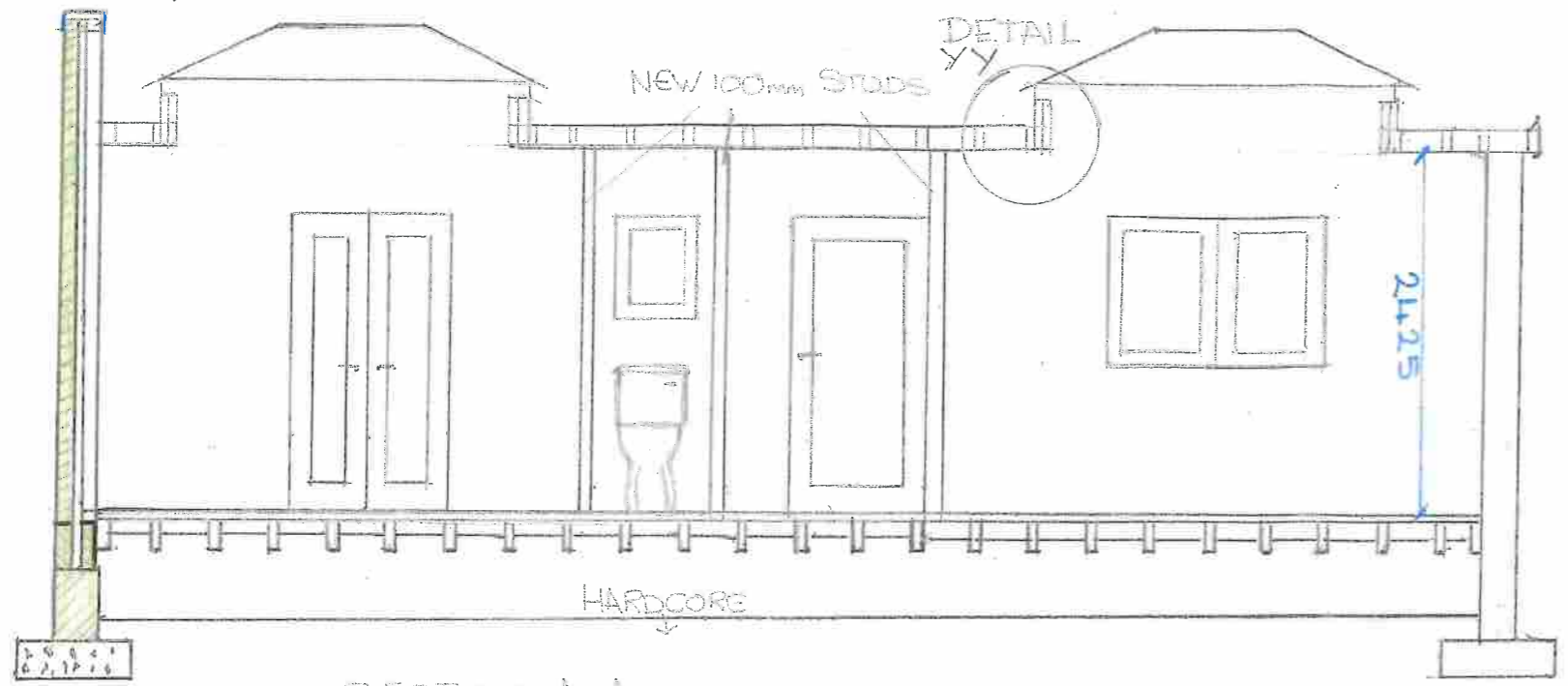


The Kennings
Avenue Du Manoir
Ville au Roi
St. Peter Port
GUERNSEY
GY1 1PE

Applicants Name :
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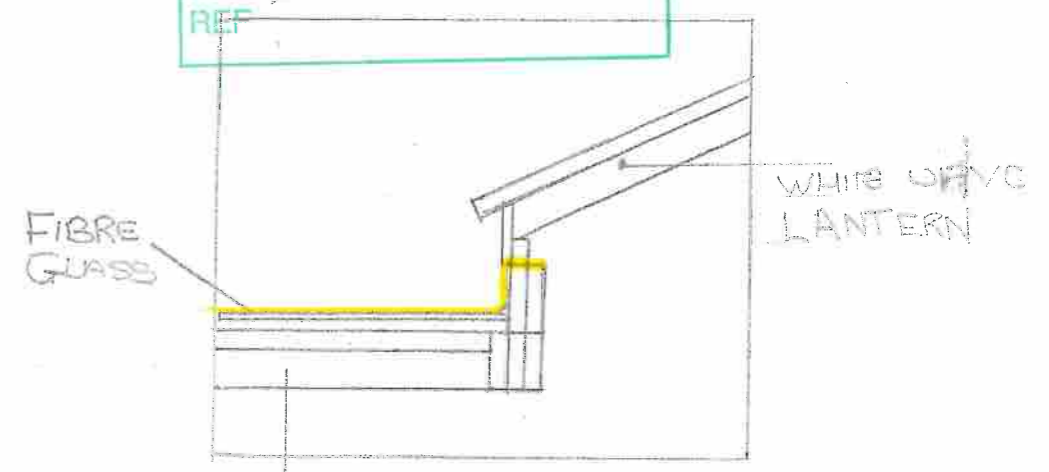
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REF

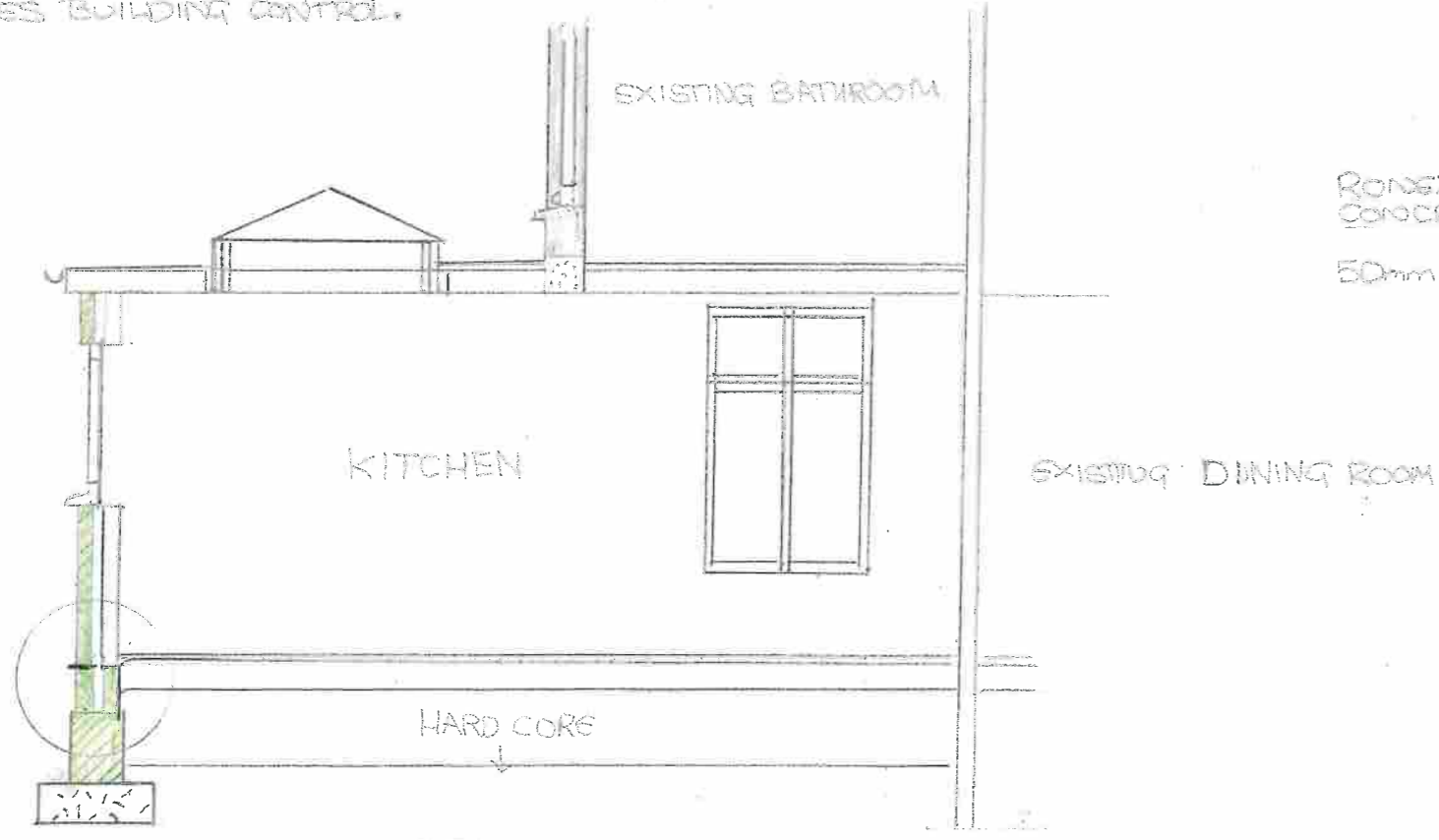


SECTION A-A

CONCRETE STRIP FOUNDATION
MIN 225mm AT DEPTH TO SOFT
GROUND CONDITIONS AND
STATES BUILDING CONTROL.



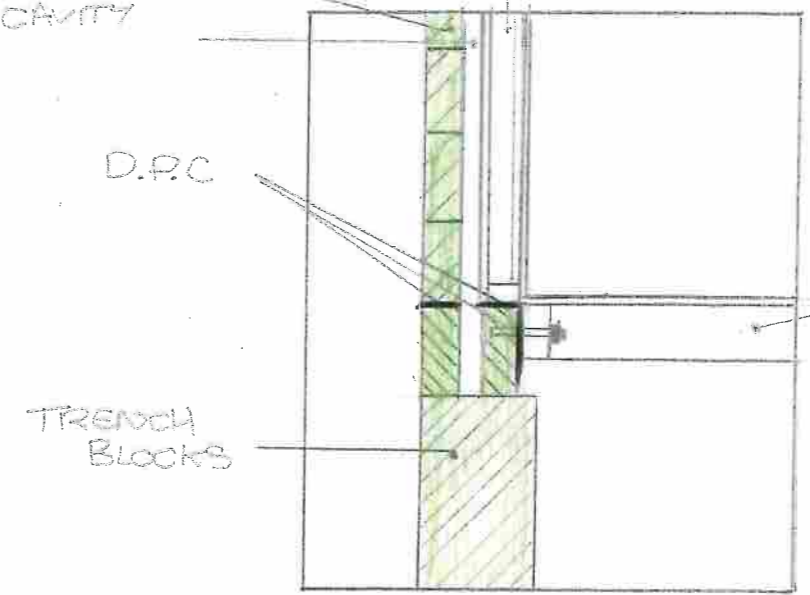
ROOF 145mm x 45mm C24 AT 400mm CTRS WITH
145mm x 75mm POLE PLATE BOLTED 12mm THROUGH
BOLTS AT 600mm CTRS AND 95mm x 45 WALL PLATE
100mm KINGSPAN IN BETWEEN RAFTERS. SW
FIRINGS LAID TO FALL 1:80 WITH 18mm O.S.B THEN
POLYROOF GRP FIBREGLASS,
COOLTERM K18 TO THE UNDERSIDE.



SECTION B-B

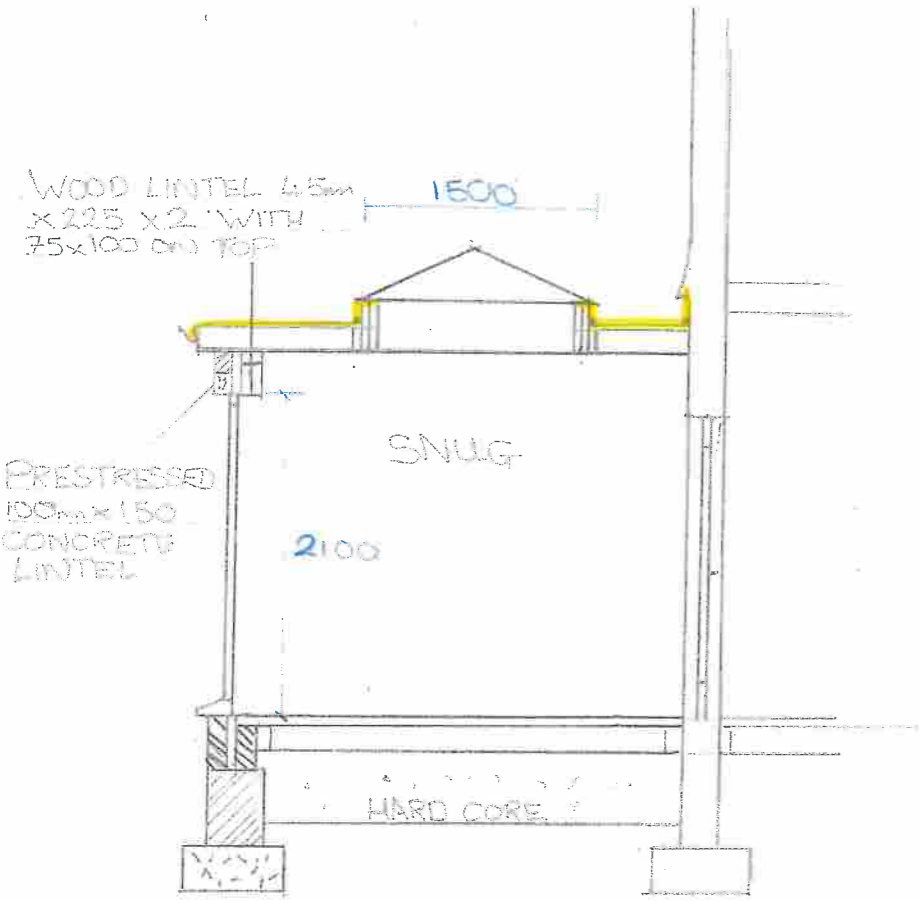
ROWEZ 100mm DENSE
CONCRETE BLOCKS
50mm CAVITY

STUD WALL 95mm x 45mm C24 AT 400mm CTRS
WITH 70mm KINGSPAN BETWEEN STUDS, 12.5mm OSB
ON BOTH SIDES AND COVERED ON THE OUTSIDE
WITH A WATERPROOF BREATHER MEMBRANE AND USE
VAPOR CONTROL LAYER ON THE INSIDE.



FLOOR COMPRISED OF 145mm x 45
C24 AT 400mm CTRS AND 145mm
x 75mm POLE PLATES BOLTED
WITH 12mm THROUGH BOLTS AT
600mm CTRS. 70mm KINGSPAN
IN BETWEEN AND 18mm
SHOTING PLY AIR BRICKS
TO VENT UNDER FLOORS.

DETAIL XX
SCALE 1:20



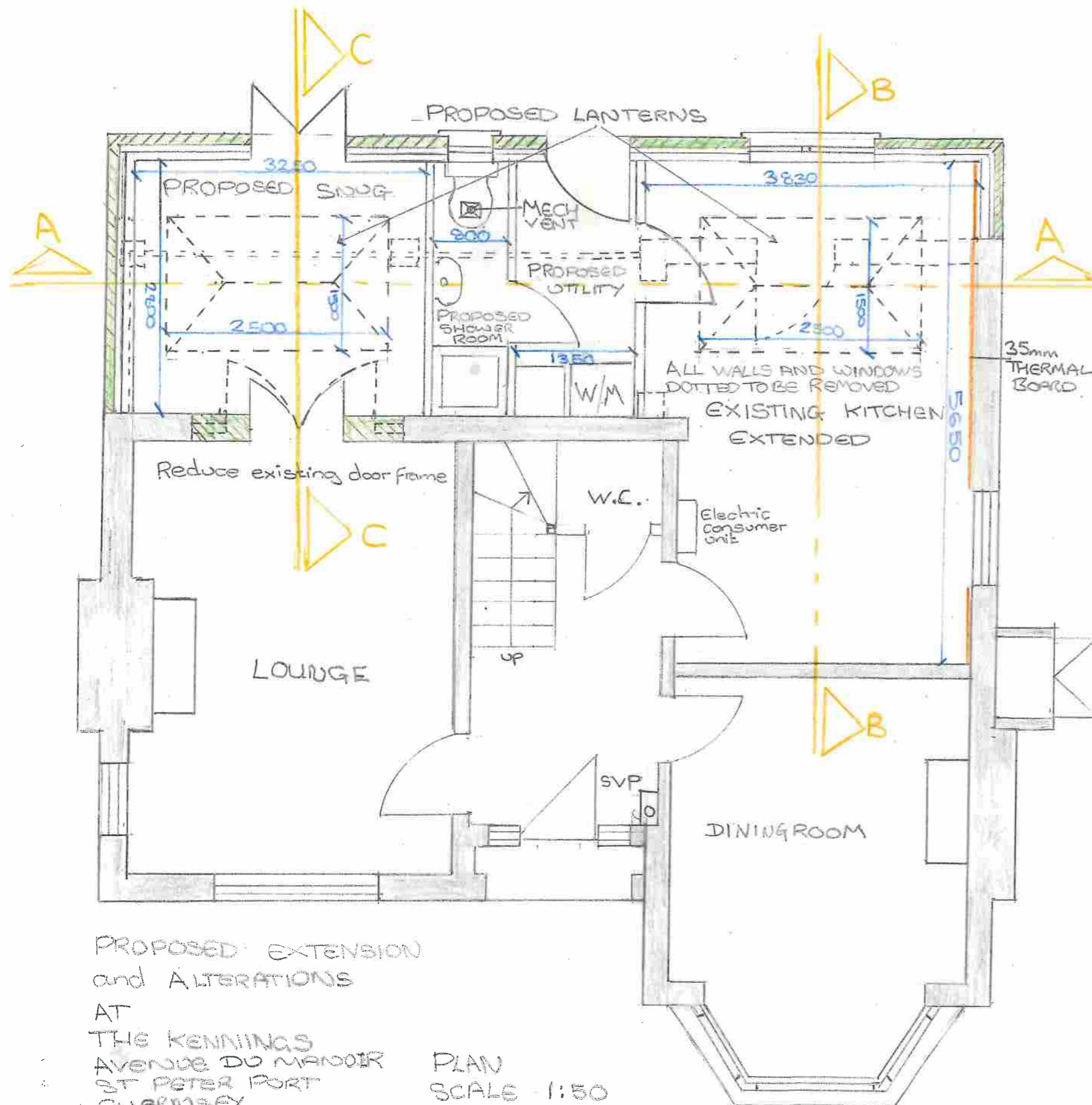
SCALE 1:50 SECTION C-C



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FLAT ROOF CONSTRUCTION

Polyroof GRP ON 18mm ply which sits on slw fitting laid to fall 1:80 ON 50x147 slw grade C24 at 400mm Centres with 100mm KINGSPAN flush with underside, leaving 20mm air gap with over fascia vents. 12.5 GYPROC wall board and skim.

NEW EXTERNAL WALLS

255mm CAVITY WALL CONSTRUCTION to comprise of 100mm RonseZ dense concrete outer leaf, 50mm clear cavity. Vapour paper on 10mm OSB board, 47x95mm C24 slw, with 75mm kingspan inbetween then 10mm OSB board, Vapour paper, 27mm thermal board and SKIM.

INTERNAL STUDS

47x95mm slw C24 at 400mm Centres with 100mm APR INSULATION and 12.5mm wall board both sides and skimmed.

WINDOWS/DOOR

To be white uPVC double glazed with trickle vents.

LINTELS

Annardale prestressed concrete Lintels, Min. 150mm bearing

FLOOR CONSTRUCTION

47x147 C24 slw with 75mm Kingspan between and 18mm ply T&G.

FOUNDATIONS

Provide 225mm thick concrete strip Foundations, take down to a suitable depth to be agreed by building Control

PROPOSED EXTENSION
and ALTERATIONS

AT
THE KENNINGS
AVENUE DU MANOIR
ST PETER PORT
GUERNSEY
G711PE

MR G Kenoby

PLAN
SCALE 1:50