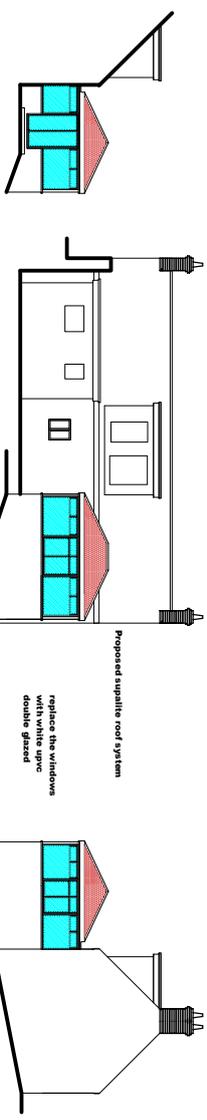
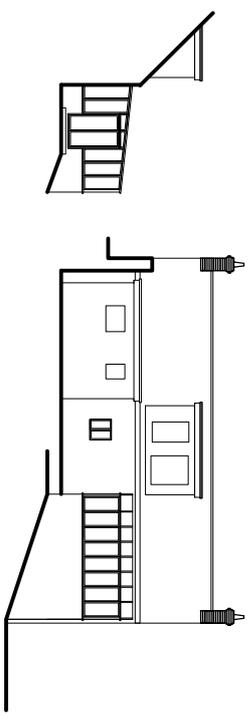


Remove the existing glazed conservatory roof and replace with a "SUPER" tile roof system to the suppliers installation detail.



Proposed super tile roof system
replace the windows with white upvc double glazed
retain the existing dwarf walls

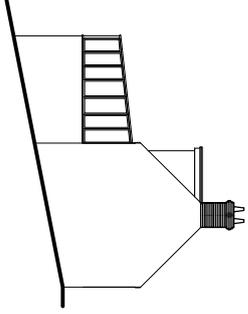
Proposed rear elevation (south)



Proposed side elevation (east)

Existing rear elevation (south)

Existing side elevation (east)

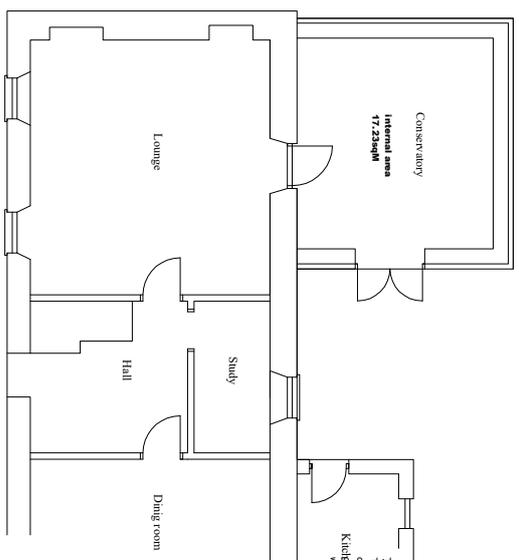


Proposed front elevation (north)

Existing front elevation (north)

Ventilation, air, acoustic, condensation, condensable windows.
Provide rapid ventilation to all habitable rooms not less than 1/20th of the total floor area (room area) provide background ventilation 8000mm squared per room and ground level ventilation of 4000mm squared together with the following:

Tidal table.
Tidal table should be dug and assessed by an engineer to determine the ground level and whether or not the designed foundations would be appropriate.

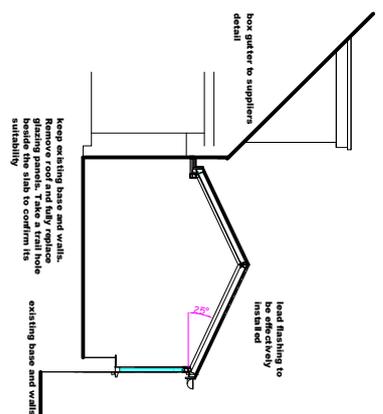


Ground floor layout plan



Important information to avoid any mistakes

This drawing is to gain a license to carry out the mentioned works. The exact dimensions of the frame size of the conservatory and the new roof will be provided by the Conservatory Trade Windows Ltd. Critical measurements on site and adjust to suit through planning and B.C. A conditional approval should be obtained and the supplier must respond to any conditions. It is very important that the supplier can prove without any doubt the structural stability of the new building and engineer details should be obtained by the supplier and contractor before any work commences. This is a recommendation from this Company to who ever undertakes the work.

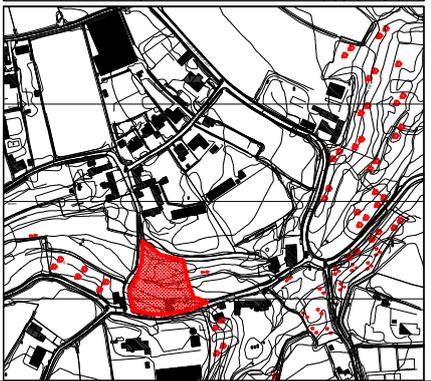


Remove roof and fully replace glazing panels. Take a frame hole suitable to confirm its suitability

existing base and walls



Block plan



Site Location Plan

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Drawing agreement:-
License agreement ID No. 26
Note:- scale - figured dimensions must be used in preference.
The contractor is to check all dimensions on the prior to any work commencing. Any discrepancies discovered between this drawing and site conditions must be referred to the architect's office without delay.
No guarantee will be given that the works will reserve the necessary planning approval.
If in doubt ASB

Guidance and finish boards.
Provide new 100mm diameter upvc half round or square lined gutters, on upvc fascia boards, on 30mm thick external quality plywood batten provide an over eave ventilation to the roof space. The gutters are to discharge into 63mm diameter upvc down pipes, into a trapped gully, and into either existing or new soakways.

Windows and doors.
External windows and doors to be white upvc double glazed triple ventilation and rigid ventilation of one 20th of the floor area. The double glazed shall use low E argon filled glazing and the doors shall use the same glazing and provide the same level of insulation and thermal break as the doors (i.e. U-value of 0.18 W/m²K).

Surface water drainage.
All surface water drainage will be connected into the existing drainage system and the drainage system shall be 150mm in diameter concrete under drains and roads, and 150mm of rings under gutters. However this can only be the case if the soakaway is a min 1m from the building and / or its extension. Should this not be the case then a new soakaway will need to be constructed as per to fully comply with building control requirements and this can be achieved.

All glazing in doors within 1500mm of the floor and in windows within 300mm of doors and 1500mm of the floor should be safety glazing.
All glazing to be low E argon filled glass.
The U-values of the doors and windows in the new extension should not exceed 0.18 W/m²K.
The U-values of the doors & windows in the new extension should not exceed 0.18 W/m²K.

| | |
|-------------|---|
| Client | Mt Dean Maltham Rural Practice Change Rural Practice S Services Guernsey GY7 9YX |
| Project | Replace the conservatory frames and apply a suitable roof system over |
| Scale: | 1:2500 1:500 |
| Drawn: | JRH |
| Checked: | JRH |
| Date: | 14th February 2020 |
| Drawing No: | 6013/A/1 |

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