

~~⊗~~ PRIMARY BUSINESS LOCATION NEEDED ASAP



Development & Planning Authority

SAP Code: 250060 / DP2123

Sir Charles Frossard House  
La Charroterie  
St. Peter Port Guernsey  
GY1 1FH

Tel: (01481) 717200  
www.gov.gg  
planning@gov.gg

## APPLICATION FOR PLANNING PERMISSION

### THE LAND PLANNING AND DEVELOPMENT (GUERNSEY) LAW, 2005 – AS AMENDED

Please complete in black ink using block capitals (2 copies of form and 4 copies of plans, etc to be submitted).  
Professional agents to submit 2 copies of the application form (1 electronic) and 4 copies of plans, etc (1 electronic).

For all applications, complete pages 1 & 2 of the form.

For all non-householder applications, please also complete pages 3 & 4 of the form.

APPLICANT'S DETAILS		AGENT'S DETAILS	
<b>A</b>	Name: DOMINIC KENDALL	Name:	<b>STATES OF GUERNSEY E-DOCS RECEIVED</b>  04 MAR 2020  REF A4 239
	Address: FLAT 4 22 VICTORIA RD ST PETER PORT	Address:	
	Postcode: GY1 1HU	Postcode:	
	Tel:	Tel:	
	Email: dominico@kendallguitars.com	Email:	
	Co UkRef:		

APPLICATION SITE	
<b>B</b>	Address: 22 LE BORDAGE, ST PETER PORT
Postcode: GY1 1DE	Cadastre ref (if known): A402390000
Site Area in either vergées/acres/hectares/square metres: 55 SQUARE MTR.	

PROPOSED DEVELOPMENT	
<b>C</b>	Is this application for: Planning Permission <input checked="" type="checkbox"/> Outline Permission <input type="checkbox"/> Reserved Matters <input type="checkbox"/>
Description of the proposal, including any change of use: CHANGE OF USE FROM OFFICE SPACE TO RETAIL USE.	
Has the proposal been the the subject of pre-application discussion with the Authority? Yes <input type="checkbox"/> No <input type="checkbox"/>	
If yes, reference : / / . Case officer's name:	
Does the proposal require an Environmental Impact Assessment? Yes <input type="checkbox"/> No <input type="checkbox"/>	
Has the development already commenced? Yes <input type="checkbox"/> No <input type="checkbox"/>	

FEES				
D	CATEGORY	NUMBER OF	FEE PER ITEM	TOTAL(£)
	10A			£390
Total Floor area of new building or extension (if roofspace, divide that floor area by 50%):				Sqm
Fee enclosed:				Yes <input type="checkbox"/> No <input type="checkbox"/>

**E TREES AND HEDGES**

Does the proposal involve the removal of trees or hedges? Yes  No

If Yes, please confirm that all trees/hedges to be removed AND all trees/hedges to remain have been indicated on the block plan:

Are any trees directly affected by or close to the proposed development subject to a Tree Protection Order (TPO)? Yes  No

Reference Number of TPO:

If Yes, please confirm that the submitted plans identify all protected trees affected by or close to the proposed development and all works to trees and roots.

**F PROTECTED BUILDINGS/MONUMENTS**

Does the proposal involve works to a Protected Building/Monument? Yes  No

If yes, please confirm that the submitted plans show full details of all proposed internal and external alterations/works and a statement to demonstrate that the special interest of the building has been considered at the outset.

**G DEMOLITION**

Are any buildings/structures (including walls) to be demolished? Yes  No

If yes, please confirm that the submitted plans clearly indicate all buildings/structures to be demolished.

**H PEDESTRIAN AND VEHICULAR ACCESS & PARKING**

Does the proposal involve alteration to or creation of a new vehicle access/ pedestrian access/car parking? (delete as appropriate): Yes  No

If yes, please confirm that the submitted plans clearly indicate all alterations to or creation of new access/car parking.

**I MATERIALS**

Please confirm that all external materials (existing & proposed) including boundary treatments and hard surfaced areas are shown on the submitted plans.

Please confirm that a statement has been included to address the Sustainable Development matters and the Waste Management issues set out in Policy GP9 of the IDP, as appropriate.

**J STATEMENT**

I am the owner of the site

I have the written consent of the owner(s) of any part of the land to make this application

I have made all reasonable enquiries to identify the owner and obtain consent (Please provide evidence)

I/we hereby apply for planning permission, as described in this form and the accompanying plans/drawings, in accordance with the relevant legislation. I/we declare that to the best of my/our knowledge, all the particulars in this application are correct. I/we agree that any information given in this application may be disclosed to relevant Committees of the States of Guernsey, made accessible to the public, published in the local media and on the States of Guernsey website.

SIGNATURE: *D. Kendall* NAME (Print): *DOMINIC KENDALL*

Date: *3/3/2020* Company Name (if applicable)

**APPLICATION FOR PLANNING PERMISSION - PART 2**  
**For all non-householder applications please complete pages 3 & 4 of the form.**

<b>RESIDENTIAL DEVELOPMENT</b>			
<b>K</b>		Existing Units	Proposed Units
	• Dwelling houses		
	• Flats		
	• Sheltered Housing		
	• Specialised Housing		
	• Other Housing		
	Existing No of people	Proposed No of people	
• Multiple occupation			

<b>AFFORDABLE HOUSING</b>	
Does Development Plan Policy GP11 (Affordable Housing) apply?	Yes <input type="checkbox"/> No <input type="checkbox"/>
If yes, please confirm details of provision (land or units) are included	<input type="checkbox"/>
If unable to comply, please confirm reasons and viability assessment included	<input type="checkbox"/>

<b>OTHER DEVELOPMENT</b>			
<b>M</b>	GIFA = Gross Internal Floor Area	Existing GIFA m2	Proposed GIFA m2
	• Retail convenience		
	• Retail other		600 sqft
	• Food/drink		
	• Offices	600 sqft	
	• Industry/Storage & Distribution		
	• Sport/Recreation/Leisure		
	• Education/Community/Health		
	• Agriculture/Horticulture		
	• Infrastructure/Harbour/Airport		
		Existing bed spaces	Proposed bed spaces
	• Visitor Accommodation – Serviced		
	• Visitor Accommodation – Non-serviced		
• Staff accommodation			
	Existing GIFA m2	Proposed GIFA m2	
• Other Use (please specify)			

<b>PARKING PROVISION</b>			
<b>N</b>		Existing spaces	Proposed spaces
	• Car		
	• (of which disabled)		
	• Motorcycle		
	• Bicycle		

**CHECKLIST** (Please tick boxes ) or indicate n/a

0

**ALL PLANNING APPLICATIONS MUST INCLUDE THE FOLLOWING INFORMATION;**  
Please see the guidance notes, PN2 Making a Planning Application, for more details

Application Forms x2	<input checked="" type="checkbox"/>
Site Location Plan x 4	<input checked="" type="checkbox"/>
Block Layout Plan x 4	<input checked="" type="checkbox"/>
Drawings x 4	<input checked="" type="checkbox"/>
Fee - See Fees for Planning Applications	<input type="checkbox"/>

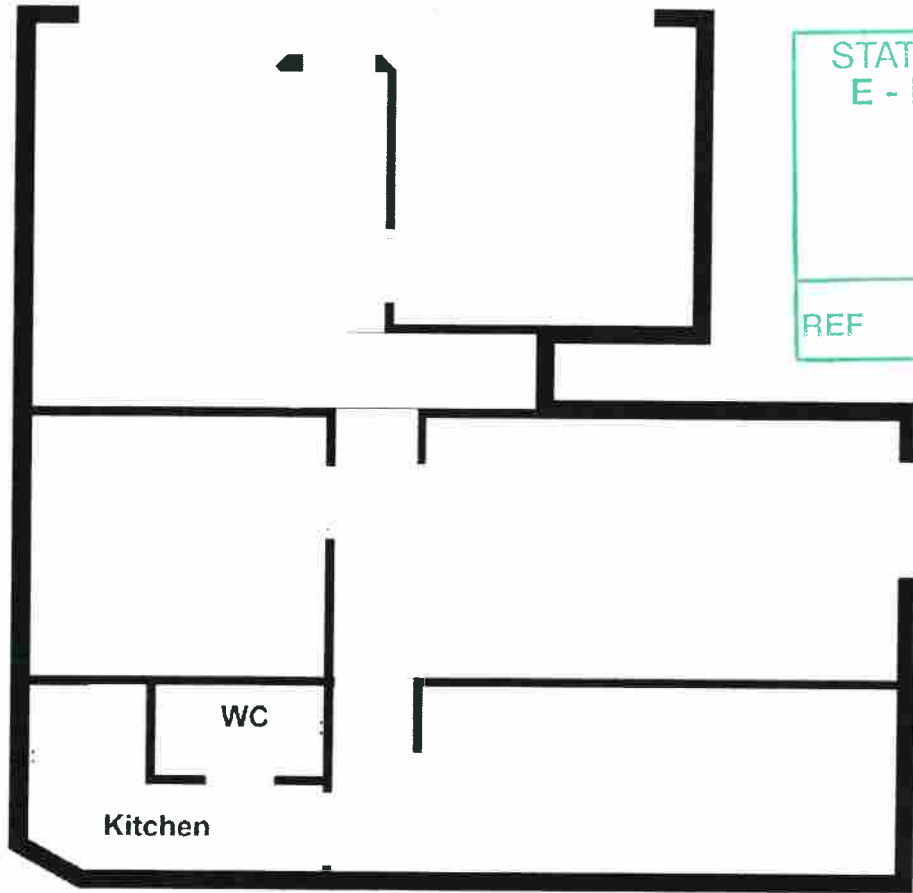
**A NUMBER OF OTHER ITEMS MAY BE REQUIRED, DEPENDING ON THE PROPOSAL;**

<p><b>Sustainable Checklist</b> – a proportional response to IDP policy GP9 A brief written statement addressing the policy text should be submitted. As a minimum for small extensions to dwelling houses this should confirm that the design, including insulation, drainage, water efficiency, materials, waste storage and disposal and the conservation of fuel and power, also meets the current Building Regulations.</p>	<input type="checkbox"/>
<p><b>Waste Management Plan</b> – for more significant applications, including demolition. Guidance is being drawn up on how to meet the requirements of IDP Policy GP9.</p>	<input type="checkbox"/>
<p><b>Construction and Environmental Management Plan (CEMP)</b> for larger developments where construction work has the potential to cause disturbance to neighbouring properties during the construction period.</p>	<input type="checkbox"/>
<p><b>Dower Units</b> – details of relationship between dower and principal dwelling. See Planning Advice Note No1 – Dower Units.</p>	<input type="checkbox"/>
<p><b>Traffic Impact Assessment (TIA)</b> – See the Supplementary Planning Guidance on Parking Standards and Traffic Impact Assessment, section 9 for more guidance.</p>	<input type="checkbox"/>
<p><b>Affordable Housing viability</b> – where affordable housing requirements of policy GP11 are not to be complied with, an explanation must be provided. See the Supplementary Planning Guidance on Affordable Housing, section 10 for more details.</p>	<input type="checkbox"/>
<p><b>Visitor viability</b> – where change of use of visitor accommodation is proposed See Supplementary Planning Guidance on Change of Use of Visitor Accommodation to Non-Visitor Accommodation Use, for more guidance.</p>	<input type="checkbox"/>
<p><b>Telecommunications Certificate</b> – A radiation certificate should accompany any applications for mobile phone masts.</p>	<input type="checkbox"/>
<p><b>Statement of Significance</b> – For work to Protected Buildings.</p>	<input type="checkbox"/>
<p><b>Survey Plans</b> – Required for work to Protected Buildings and conversions.</p>	<input type="checkbox"/>
<p><b>Agriculture Priority Areas</b> – Report on suitability of land for farming purposes.</p>	<input type="checkbox"/>

Please submit 2 copies of this completed form, together with the required sets of plans and other supporting information to: The Office of the Development & Planning Authority, Sir Charles Frossard House, La Charroterie, St. Peter Port, Guernsey, GY1 1 FH.

Ground Floor

22 LE BORDAGE



STATES OF GUERNSEY E - DOCS RECEIVED
04 MAR 2020
REF

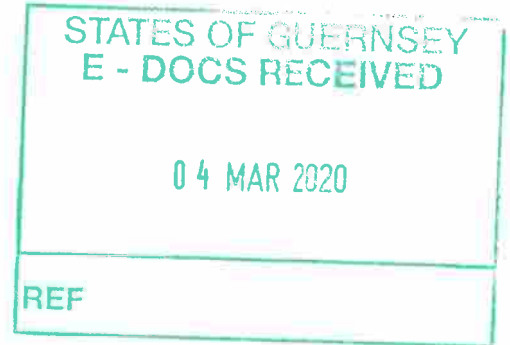
EXISTING FLOOR PLAN - NO CHANGES  
NEEDED TO LAY OUT.



The Minister  
Development & Planning Authority  
Sir Charles Frossard House  
La Charroterie  
St Peter Port  
GY1 1FH

02 March 2020

AB/be

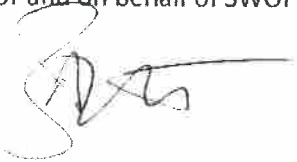


Dear Sirs

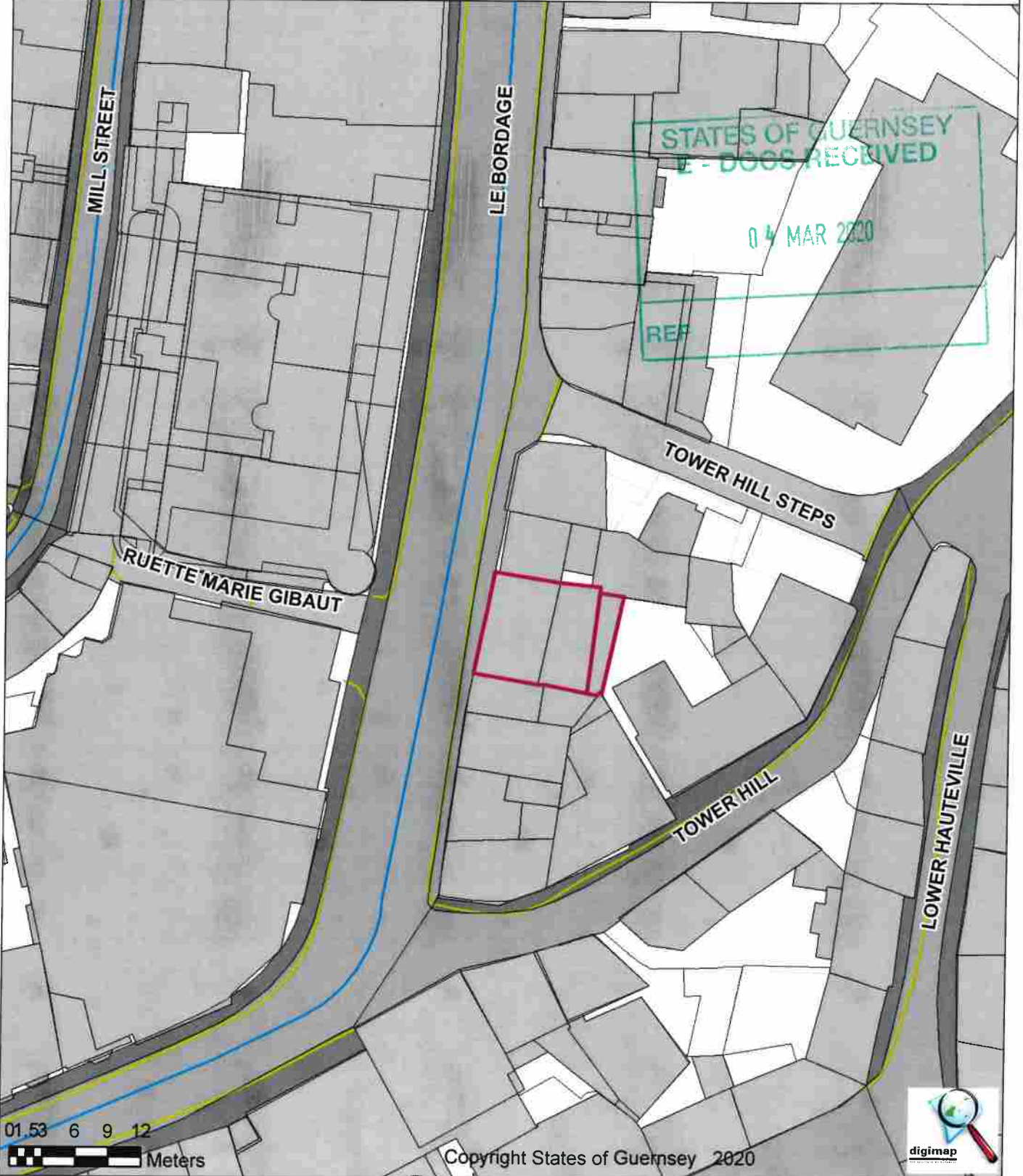
**Re: 21 Le Bordage, St Peter Port**

As Agents for and on behalf of the Landlord, J K Holdings we hereby authorise Mr D Kendall and his Advocates or Surveyors to make enquiries to you in respect of the above property.

Yours faithfully  
For and on behalf of SWOFFERS LIMITED



Andy Biggins  
Director



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Flat 1  
22  
Le Bordage  
St. Peter Port  
Guernsey  
GY1 1DE

Applicants Name : D. KENNAN  
NB Please indicate any amendments required to the address shown :-

Scale 1:500

NB. The details on this plan are illustrative, not defined. The coloured boundary illustrated above does not necessarily indicate the extent of the property or curtilage.

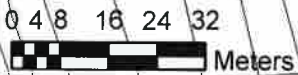
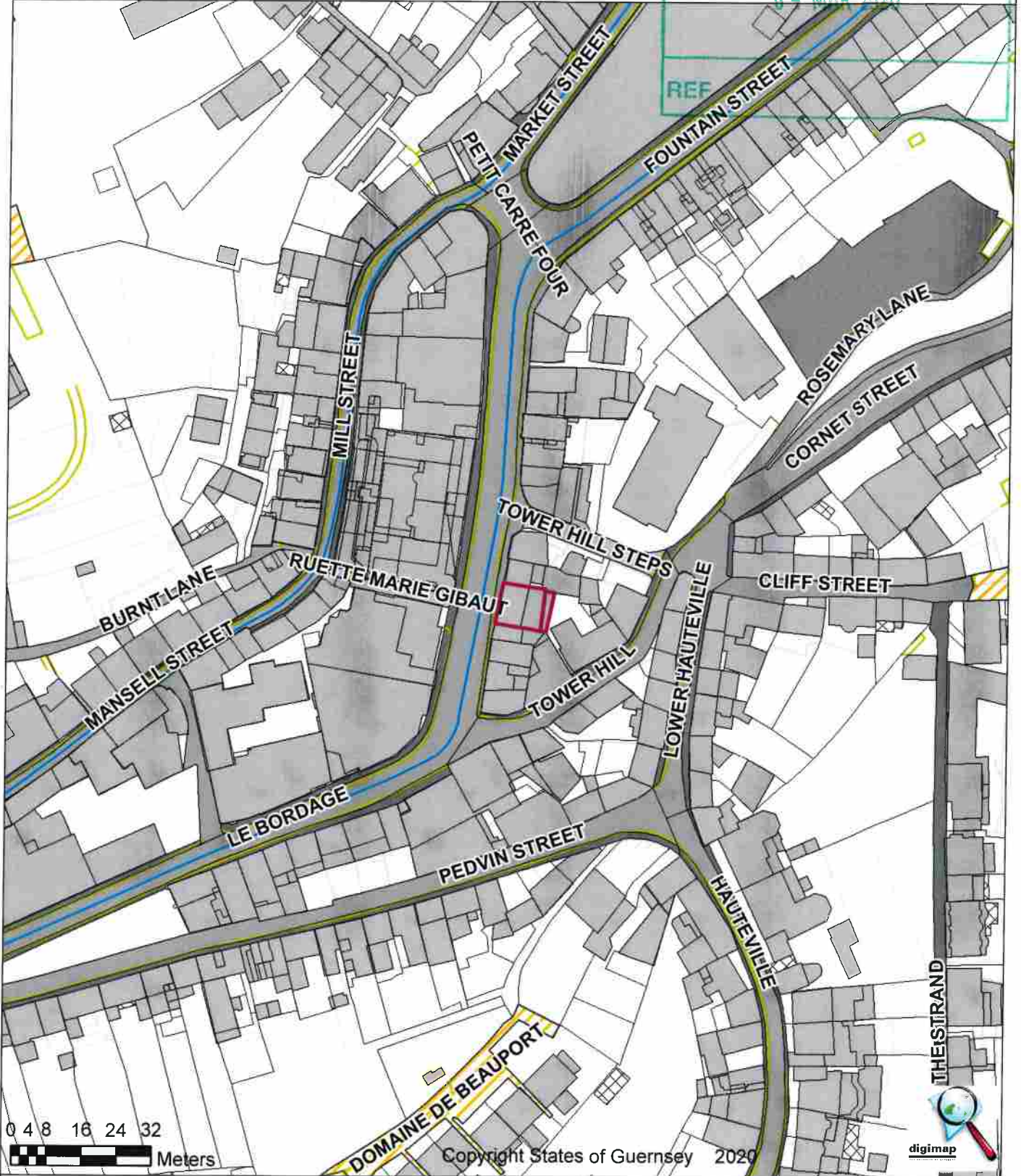


Application Site Location Plan

04 MAR 2020



REF



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Flat 1  
22  
Le Bordage  
St. Peter Port  
Guernsey  
GY1 1DE

Applicants Name ..... D. KENDALL .....  
NB Please indicate any amendments required to the address shown :-

Scale 1:1,250

NB. The details on this plan are illustrative, not defined. The coloured boundary illustrated above does not necessarily indicate the extent of the property or curtilage