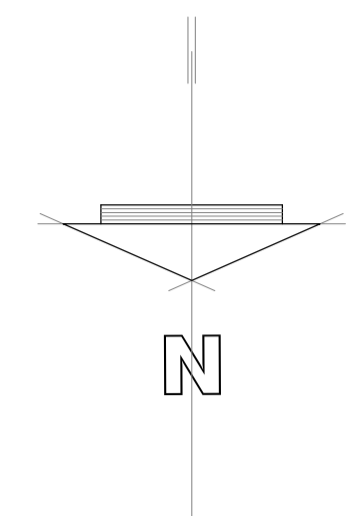


plan
scale 1 : 50 @ A1



GENERAL NOTES :

DO NOT SCALE OFF THIS DRAWING - IF IN DOUBT ASK!!

This drawing as an instrument of service, is the property of Brian R Martel MCIAT

All dimensions are to be checked on site by the Contractor, sub-Contractor, Contract Administrator, and / or builder, before the work commences, and any discrepancies found to be relevant must be reported to Brian R Martel MCIAT immediately

Detailed and larger scaled drawings take preference over scaled drawings

Drawings and details supplied by Consulting Engineers, Mechanical and Electrical Engineers, etc., may supersede the details indicated on these drawings

No guarantee will be given that the works will receive the necessary statutory approvals

All dimensions are in millimetres, and whilst every effort has been made to ensure accuracy, this cannot be guaranteed

This drawing may need to be read in conjunction with other drawings supplied by Brian R Martel, and / or other specialists in association with these works

Every effort has been undertaken to ensure that the drawings supplied are to the scale noted, no guarantee can be given that the printing process provides the exact scaled drawings, any discrepancies must be reported to Brian R Martel immediately

PLANNING CONDITIONS :

Once the development has been authorised by the granting of the planning permission, the development must be carried out and completed in every detail, in accordance with the written application, plans and drawings as approved, no variations to the development, amounting to development, may be made without the permission of the Development and Planning Authority

The development, as approved, must be begun within three years from the date of the 'notification of grant of planning permission'

The development, as approved, and all the operations which constitute or are incidental to that development, must be carried out in compliance with all such requirements of the The Building (Guernsey) Regulations, 2012 as are applicable to them, and no operation to which such a requirement applies may be commenced or continued unless (i) plans relating to that operation have been approved by the Development and Planning Authority, and (ii) it is commenced or, as the case may be, continued, in accordance with that requirement and any further requirements imposed by the Development and Planning Authority when approving those plans, for the purpose of ensuring that the building regulations are complied with

It is important to note the expiry date of the Notification of Grant of Planning Permission, as this terminates the approval; two approved documents from both Planning Service and Building Control, need to be valid otherwise the proposed development cannot be commenced, even if the Building Licence expiry date is later than the Planning Permission expiry date; if this is the case then a new Planning application is required to enable the works to commence

BUILDING LICENCE CONDITIONS :

Under The Building (Guernsey) Regulations, 2012, a person who proposes to carry out building work must give the Department notice of the proposed commencement date of certain stages of the work before commencing that work

Where building work has commenced, but is stopped for a period of more than one year, the Department may, under The Building (Guernsey) Regulations, 2012, at any time before work is recommenced, give notice to the person to whom the licence was granted, that the licence is no longer valid

The Building Control Division must be notified by the client / builder / contractor when reaching the stages of work specified on the Builders Information Sheet, which accompanies the Building Licence and Approved Plans

Consequential improvements of a buildings thermal performance will be required when building work is undertaken on its external envelope, as outlined in The Building (Guernsey) Regulations, 2012; where at least 50% of the surface of an individual thermal element is being renovated or replaced, or 25% of the total building envelope is being renovated or replaced, the thermal elements must achieve the u-values to comply with the relevant building regulation

It is the responsibility of the property owner to ensure that all the necessary inspections are carried out by the Development and Planning Authority's Building Control Surveyors; the statutory notifications are listed on the Builders Information Sheet; the Development and Planning Authority will be unable to issue a completion certificate for these controlled building works if the notifications have not been received; this may cause difficulties for a property owner in the future when they look to sell the property; the Development and Planning Authority will need to declare on the immunity Certificate, any outstanding matters and where life safety issues are identified, enforcement action may be taken

The client, the clients representative, main contractor, sub contractor's, etc. must satisfy themselves that they do not need any other permissions, consents or approvals under any other legislation or from any persons by virtue of contractual or other rights in order to carry out the building works or material changes of use

REVISIONS :

existing wall and timber ground and first floor constructions have been assumed and are for identification purposes only

if the building (or part of it) is to be demolished, or undergo major refurbishment, and has been constructed prior to the year 2000, then a demolition / refurbishment survey must be conducted by a qualified and competent asbestos surveyor; no work should commence on any area until the appropriate survey has been carried out and reported on

measurements have been taken at an approximate height of 1300 mm above the finished floor / ground levels

finished levels to ridge, top of chimney stacks, etc., unless otherwise stated, have been assumed, as access to these areas was restricted at the time of the measured survey

any discrepancies between these drawings and site conditions found must be made clear to Brian R Martel immediately

it is advisable that a camera survey is undertaken by a specialist to determine the condition of the existing foul and surface water drainage

a qualified consultant engineer's details of the following, with calculations where necessary, are submitted and approved before that work is commenced:

- adequacy of the existing foundations;
- adequacy of the existing roof structure, floor joists, lintels and beams;
- new foundations, floors, and roof designs;
- new lintel and beam design;
- new soakaway design

all structural elements are to be detailed and designed by a qualified consulting engineer, and may be the subject of change from indicated on these drawings

all works of drainage and sanitary plumbing are carried out in accordance with the requirements of Part H of Schedule 1 of the Building (Guernsey) Regulations, 2012 and with BS 8000-13 and 14

safety glazing is provided in all critical locations, in accordance with the requirements of Part N of Schedule 1 of the Building (Guernsey) Regulations, 2012

a sufficient wholesome, potable water supply is provided, together with the suitable provision of hot water, in accordance with the requirements of Part G of Schedule 1 of the Building (Guernsey) Regulations, 2012

the owner of the property must satisfy themselves that they do not need any other permissions, consents or approvals under any other legislation or from any persons by virtue of contractual or other rights in order to carry out the building works or material changes of use

if the property owner and / or the building contractor, sub-contractor, etc. amend the construction details described within these drawings, then they must ensure that the amendments comply with all the relevant regulations and the approval of the Building Control Department, or any other relevant statutory body

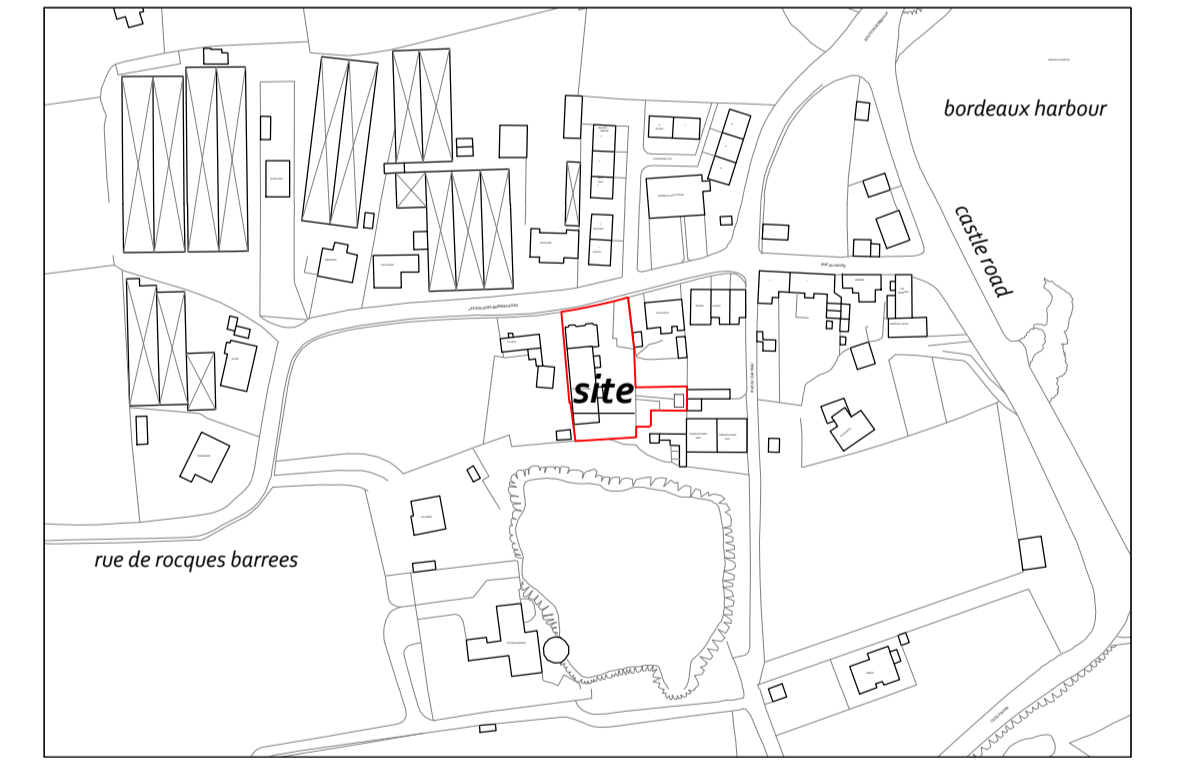
the development submitted has been designed to take into account the use of energy and resources and any adverse impact on the environment; the design, including insulation, drainage, water efficiency, materials, waste storage and disposal, and the conservation of fuel and power, meets the requirements of the Building (Guernsey) Regulations, 2012

the materials which are to be removed from the site should be either re-cycled or re-used, prior to taking to a land fill site

the way in which waste is dealt with on the site (re-used, recycled or disposed of) should be recorded during the clearing of the site and the construction process; this information will be required in order to inform the final 'site waste management plan' document that is required to be submitted to the Authority at the end of the process, to ensure that the development is managed to minimise waste during the demolition of any existing buildings or structures or during construction, that existing materials are re-used, recycled or disposed of either on or off site, and that residual waste will be dealt with appropriately, in accordance with the aims and objectives of Policy GP9.

this line is 200 mm long at the original drawing size of A1

existing site levels shown thus : +100.000
proposed site levels shown thus : +100.000



location plan
approximate scale 1 : 2500 - for identification purposes only. **DO NOT SCALE OFF THIS PLAN**
this location plan has been taken from a map of the Island of Guernsey dated 2004

Client	Genoa Holdings Limited		
Project	Proposed summer / play house barbecue area at The Ellingham Cottages at Bordeaux - Rue de Rocques Barrees - Vale - Guernsey GY3 5LU		
Drawing	Planning Permission drawing Plan		
Scale	1 : 50 @ A1	Drawn	lrm
		Date	March 2020
<p>Brian R Martel Chartered Member of the Chartered Institute of Architectural Technologists established 1994</p> <p>Vandola - Route de la Lague à L'Érée - St Pierre du Bois - Guernsey - GY7 9HT telephone : 00.44.167320 or 07783.163657 e-mail : brmartel@cwgsy.net</p>			
Drawing number	4116.02.01	Revision	