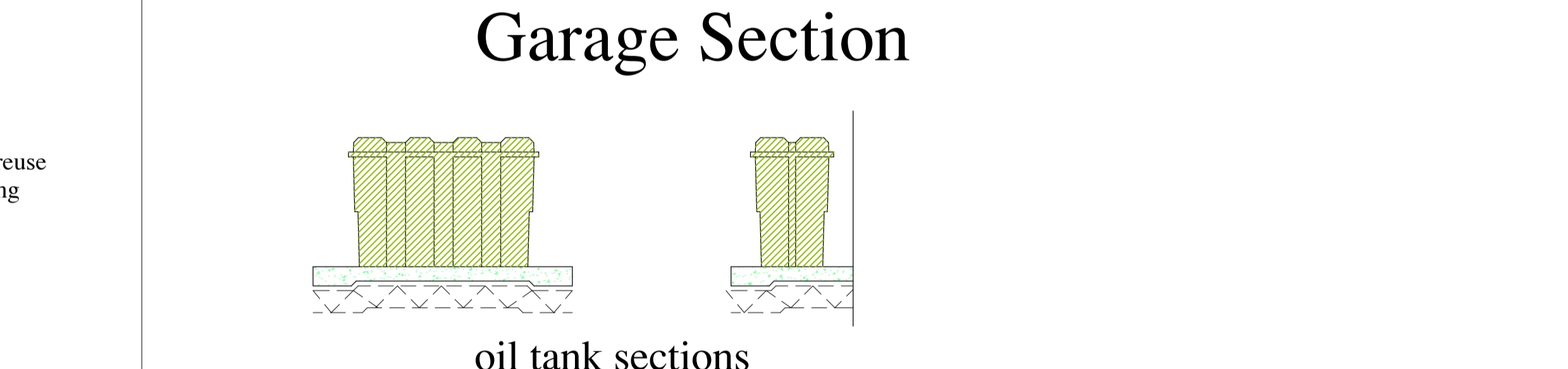
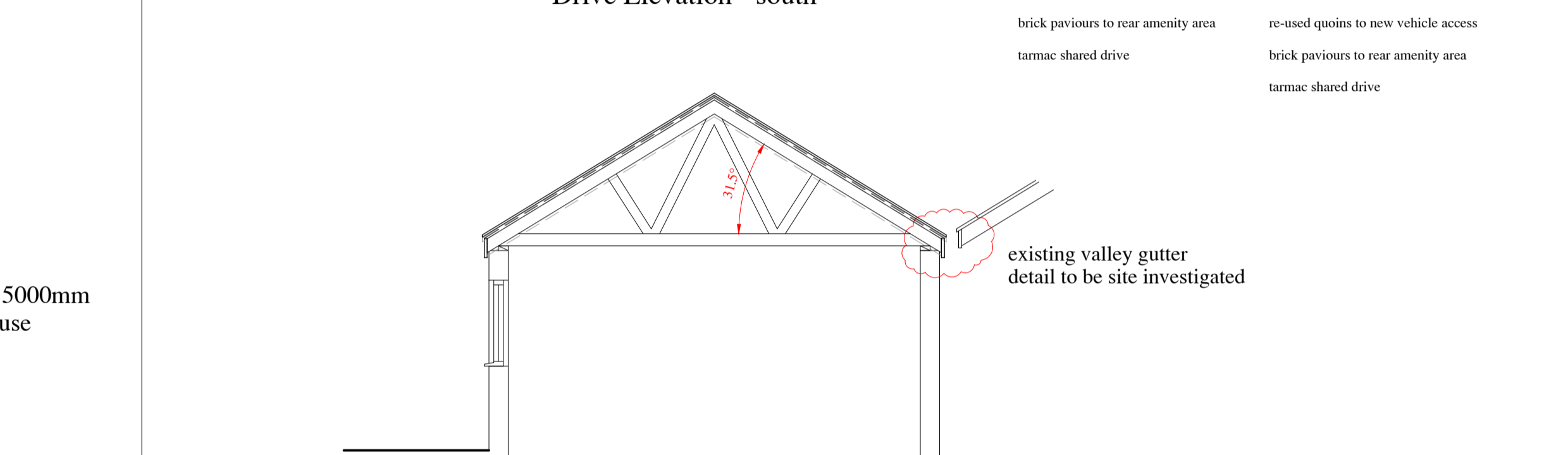
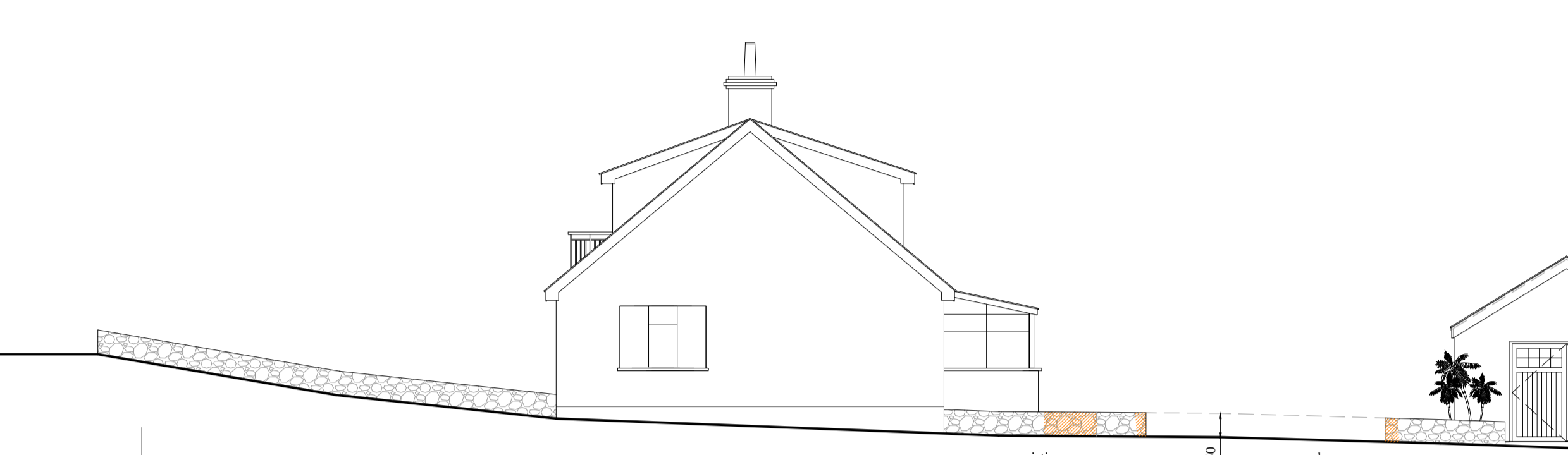
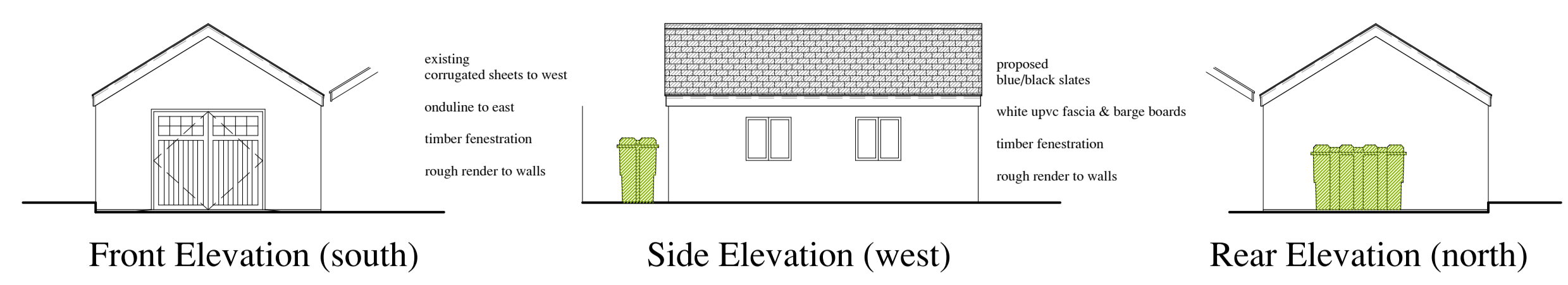
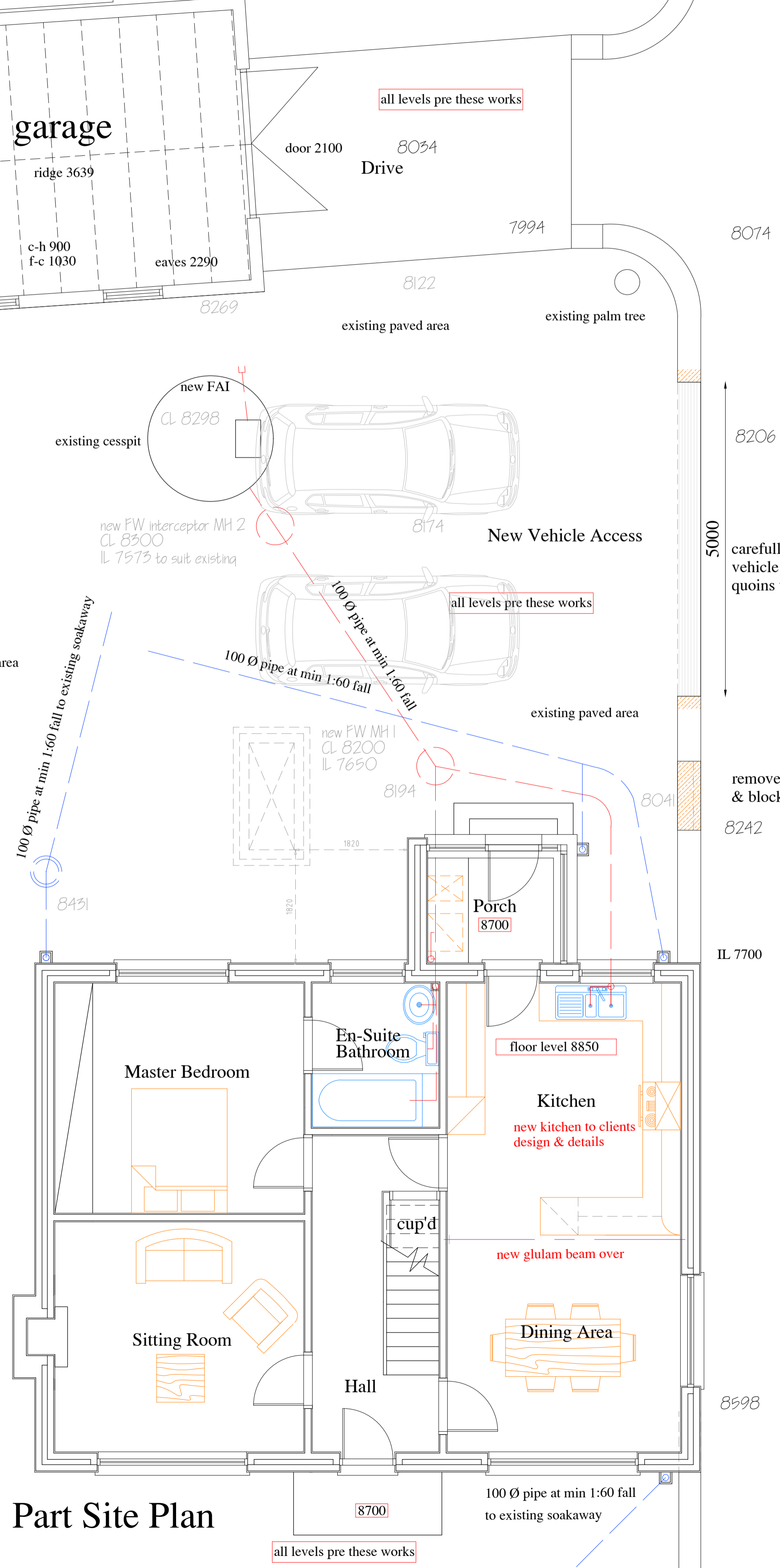


NEIGHBOURS GARAGE



**Site Investigation**  
Prior to site works contractor to determine and locate all existing service routes.

**Structural Engineer**  
New roof trusses to suppliers design & details.

**Demolition**  
To garage contractor to carefully inspect existing valley gutter detail prior to works & carefully remove existing garage roof & wall plates.  
To driveway carefully demolish section of existing granite drive wall taking care not to damage existing shared drive. Retain all stone on site for later re-use. Remove existing quoins from gateway retaining for re-use in new aperture.

**New Roof**  
New garage roof to comprise blue/black slate (or product of equivalent appearance) on 50 x 25 sw battens at gauge to suit product & 32° pitch, 1 layer Poverlon Ultraperm Max breather membrane reinforced non-terrible roofing felt on eaves carrier trays, on new truss to design & details by supplier, @ 600mm centres fixed to new 100 x 50 wall plates strapped and bolted to blockwork walls using galvanized mild steel straps 30 x 5 x 1000mm long straps at 1500mm centres. New white upvc fascias, barge board & rain water goods etc. Gutters to be Brett Martin 116 x 75 or similar equivalent. Rainwater goods to discharge into existing surface water system.  
Allow for all remedial works to reinstate valley gutter including lead flashing. Make good to all areas disturbed.

**Flashings**  
Generally provide new lead flashings as appropriate installed in strict accordance with recognised good building practice and in accordance with relevant BS Codes of Practice BS EN12588. All lead work by specialist. Flashings generally dressed up min 150 vertical height & allow for flashing under neighbouring roof tiles.

**Garage Windows & Door**  
Existing fenestration to be inspected & made good as necessary ready for new two gloss coats in colour to clients choice.

**Services**  
Existing garage electrical service to be protected through out works.

**Drive Walls**  
Carefully form new vehicles access as indicated utilising existing re-used dressed quoins. Granite to receive new waterproof sand/cement pointing all to match existing. Drive/parking area surface to be made good accordingly with min 150mm concrete bed. Concrete to be flush with paviours & shared drive surfaces.  
Existing pedestrian gate to be carefully blocked utilising re-used stone. All stone to be coursed and pointed to match existing. Wall top to receive re-used granite set to match the appearance of existing wall.  
Care to be taken not to disturb or damage existing shared drive surface during works & all disturbed are to be made good to match existing.

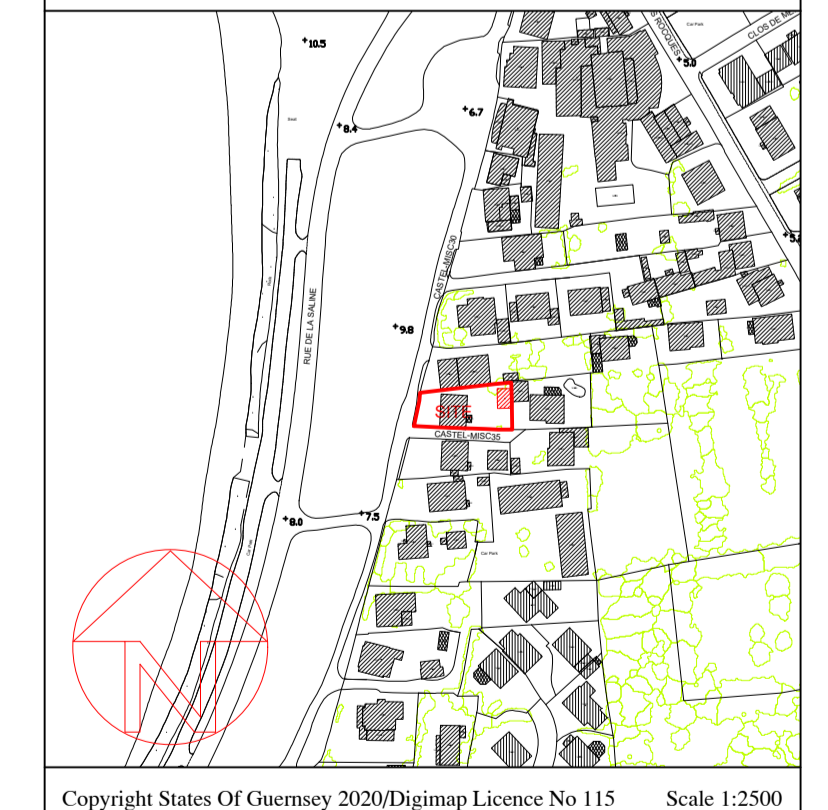
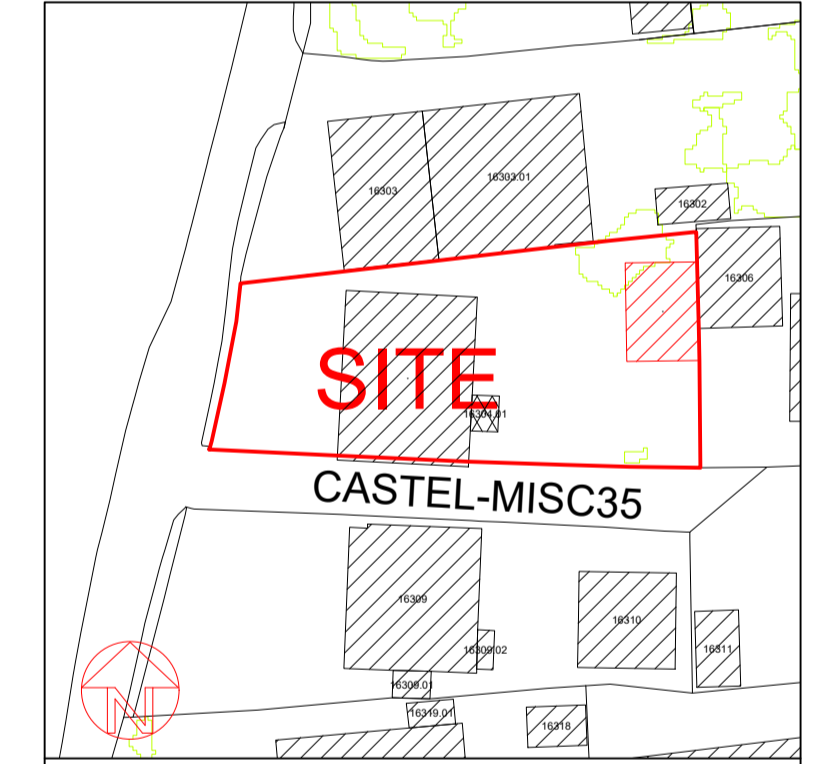
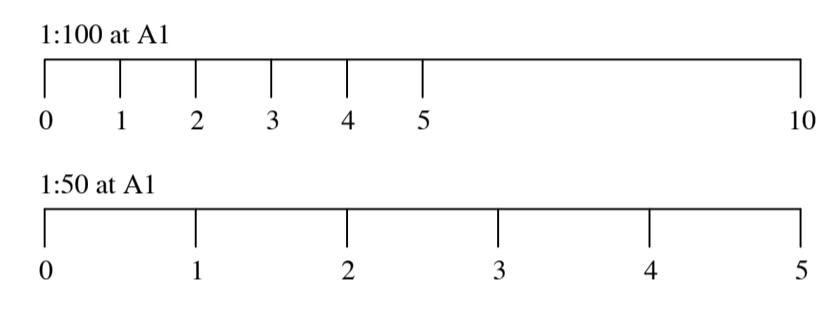
**General**  
Site to be tidied daily & left free of debris at all times. Contractor to ensure shared access drive is kept clear at all times. Contractor to allow for all temporary protection of areas during any site mixing of materials & to make good to any damaged areas on the completion of site works.  
Through out new works all services required for works & to garage to remain in operation through out contract period. Client to be advised of any necessary temporary loss of service.  
Any deviation from the specifications of products to be clarified & approved prior to installation on site by the client.

**Oil Tank**  
Existing tank to emptied & decommissioned. Existing oil line to boiler to be altered to suit new bundled tank location all by specialist in strict accordance with all relevant British Standard Codes of Practice using materials that also conform to the most current legislation. Remove existing oil tank & catch pit shown dotted carefully & make good to area disturbed to match existing. Prepare & modify as necessary existing area to rear of garage to suit new bundled oil tank. Lay new 150mm concrete base slab on 50 stone dust binding on min 150 hardcore. Care to be taken not to disturb existing garage foundations during site works. Install new Envirostore 1000 litre bundled oil tank. All in accordance with manufacturers design and details. Ensure 1000mm dimension to boundary

**COPYRIGHT**  
THE COPYRIGHT OF THIS DRAWING IS THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT THEIR PERMISSION.

**NOTES**  
FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALED DIMENSIONS. CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ANY DISCREPANCIES BETWEEN THIS DRAWING AND SITE CONDITIONS MUST BE REFERRED TO THE ARCHITECTS IMMEDIATELY.

**AMENDMENTS**  
A  
B  
C



Information to produce this drawing taken from:  
M D Nicolle & Partners Ltd  
Dwg No 03-018-04D  
All critical dimensions & all drainage subject to site check by contractor  
as at 31-7-20

Job Title  
**Proposed Re-Roofing of Garage, Alterations to parking provision & replacement oil tank at L'Etoile**  
Rue de la Saline  
Castel for Mr & Mrs P Rogers

Signed \_\_\_\_\_ Date \_\_\_\_\_  
Drawn Paul Vaudin Scale 1:50 & 1:100 at A1 No \_\_\_\_\_  
Date July 2020 Checked \_\_\_\_\_

**Paul Vaudin & Associates Ltd.**  
Architectural Services  
Sesfeld, Rue de la Mare, Castel, Guernsey, GY5 7AT  
Telephone (01481) 254936 Fax No (01481) 252080  
E-mail paul@pvaltd.gj Website www.pvaltd.gj

Drawing  
**Basic Working Drawing**

**20 - 009 - 03**