



FULL/2016/0009
7387-01 A1-B3 TJ
10 August 2020

Development and Planning Authority - Planning
Sir Charles Frossard House
PO Box 43
La Charroterie
St Peter Port
Guernsey
GY1 1FH

Dear Planning Service

**Proposed conversion of domestic curtilage
at Andorra, Rue Du Pont Vaillant, St. Sampson
for Mrs M Isabelle**

Please find enclosed three copies of Survey Plan 7387-01 A1 and Proposed Site Location and Block Plan 7387-01 B1/B2, for consideration by the Authority for **Full Planning Permission**.

A justification in which to address Policy GP15: Creation and Extension of Curtilage can be found below:

- a) it would not have an unacceptable detrimental impact on the landscape character; and,

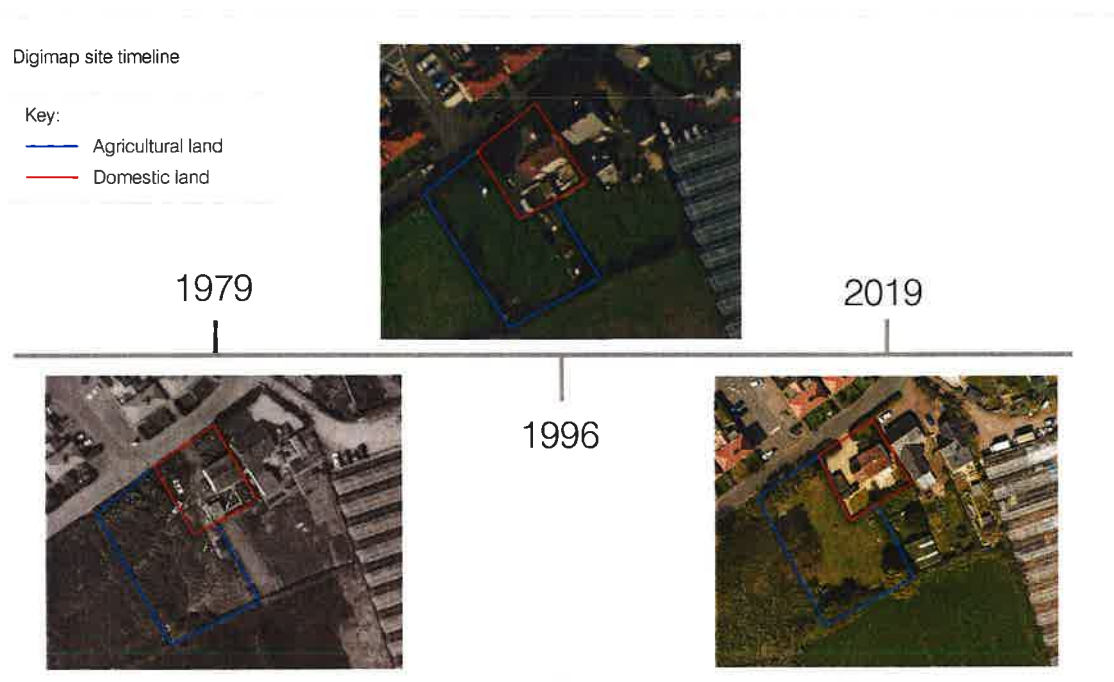
There is very strong boundary enclosure to this area of land and therefore any impact on the landscape character is unlikely to be significant.

- b) it would not have an unacceptable impact on the biodiversity interest of an Area of Biodiversity Importance or, where negative impacts are unavoidable, they can be acceptably mitigated in accordance with a scheme to be agreed with the Authority in accordance with Policy GP3: Areas of Biodiversity Importance; and,

The site is not designated under the Island Development Plan, 2016 Proposals Map as being an Area of Biodiversity importance.

- c) it is demonstrated that the land cannot positively contribute to the commercial agricultural use of an Agriculture Priority Area or cannot practicably be used for commercial agriculture within an Agriculture Priority Area without unacceptable adverse environmental impacts; and,

Access to this area of land has diminished over time (see Digimap site timeline below). Currently the land is not accessible from adjacent fields, which we note are Agriculture Priority area sites. Removal of all or part of the boundary bank and/or trees to link this land is likely to have a more adverse effect on the landscape character. Similarly, a contribution of only a quarter of an acre so close to residential properties would not appear to be a reasonable commercial prospect for both a vendor or purchaser.



- d) it is demonstrated that it would not involve an unacceptable loss of established boundary features that contribute positively to the character of an area, unless the new or replacement boundary treatment makes an equal or enhanced positive contribution to the character of the area; and,

There would be no loss of established boundary features.

- e) it would not adversely affect the reasonable amenities of neighbouring residents.

There is only one residential neighbour to the east whose domestic curtilage currently extends in line with our proposed curtilage. Their amenity would be protected by the existing bank/hedging which presently denotes the shared boundary.

As per your "Practice Note 2 - Making a Planning Application" we will also be submitting an electronic version of this application via email.

Policy GP9

The proposal will result in no physical changes to the existing site. Therefore, there will be not affect the insulation, drainage, water efficiency, materials, waste storage and disposal and the conservation of fuel and power currently associated with the site.

The site will continue to comply to the current Building Regulations.

We trust the above is satisfactory, however should you have any further queries please do not hesitate to contact us.

We look forward to hearing from you in due course.

Yours faithfully
for and on behalf of PF+A Ltd



Tiffany Jordan BSc(Hons)
Architectural Technologist

Enc
Cc Mrs Isabelle



