

NOTES  
Any discrepancies found on this drawing must be reported to the architects immediately.  
Figured dimensions to be used in preference to scaled dimensions.  
Contractors must check all dimensions on site prior to commencement of work.

REVISIONS

| No. | Date   | Description                                      | Drawn  |
|-----|--------|--|--------|
| A   | Aug 20 | Information added to suit Planning requirements. | R.D.T. |

In order to satisfy Policy GP9 of the Island Development Plan, we have taken into consideration the insulation, drainage, water efficiency, materials, waste storage and disposal, together with the conservation of fuel and power.

Site Location Plan - 1:2500



**TORODE**  
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**JOB**  
Convert existing garage to form habitable accommodation at 5, Clos Collette Nicholls, Green Lanes, St. Peter Port, Guernsey GY1 1TR for Mr. & Mrs. D. Fernandes.

**Drawing** Working drawing - Plans, details & elevations

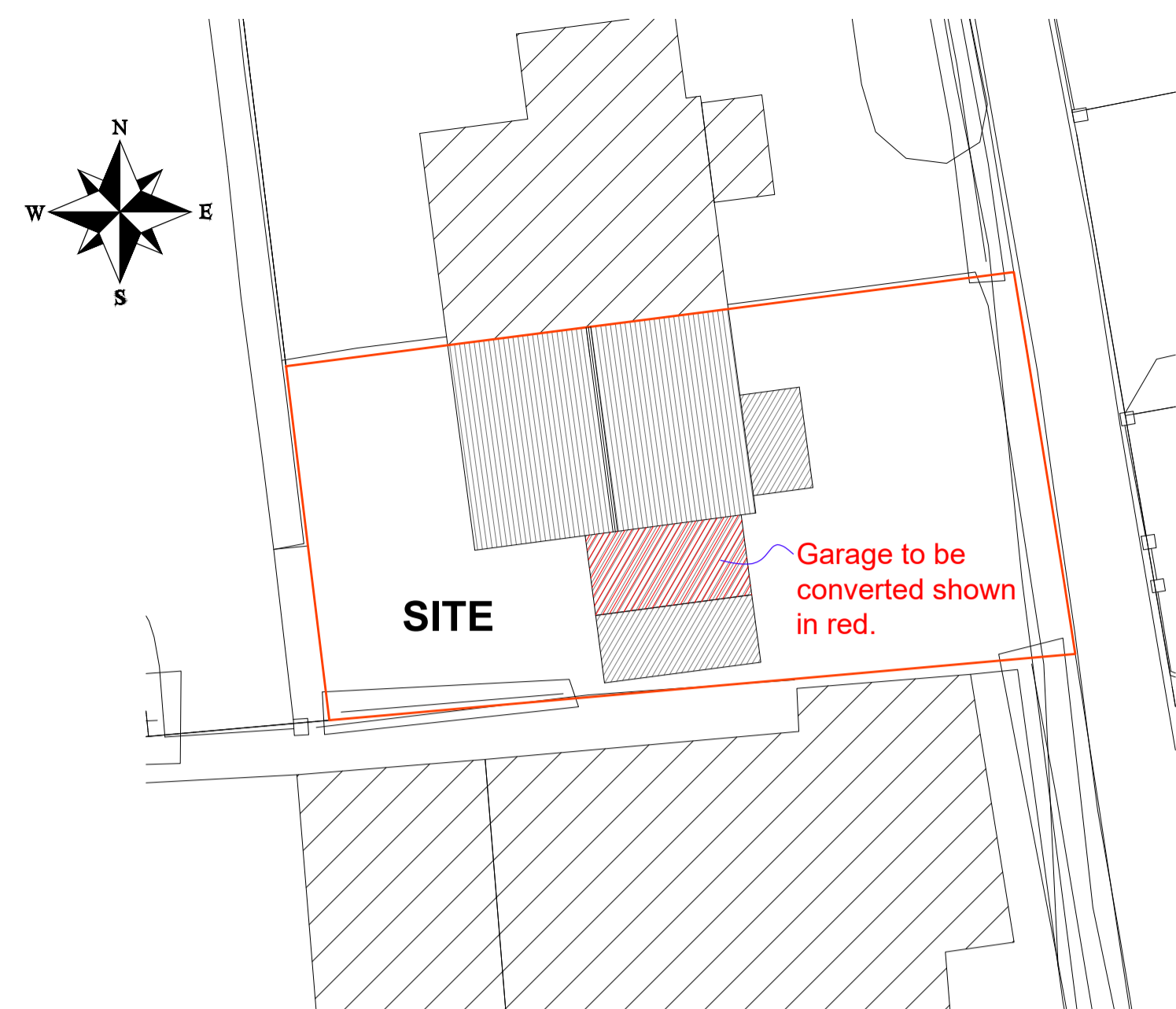
**Scale** 1:50 / 1:100/ 1:200

**Date** August 2020

**Signed**

**Drawn** Callum/ R.D.T.

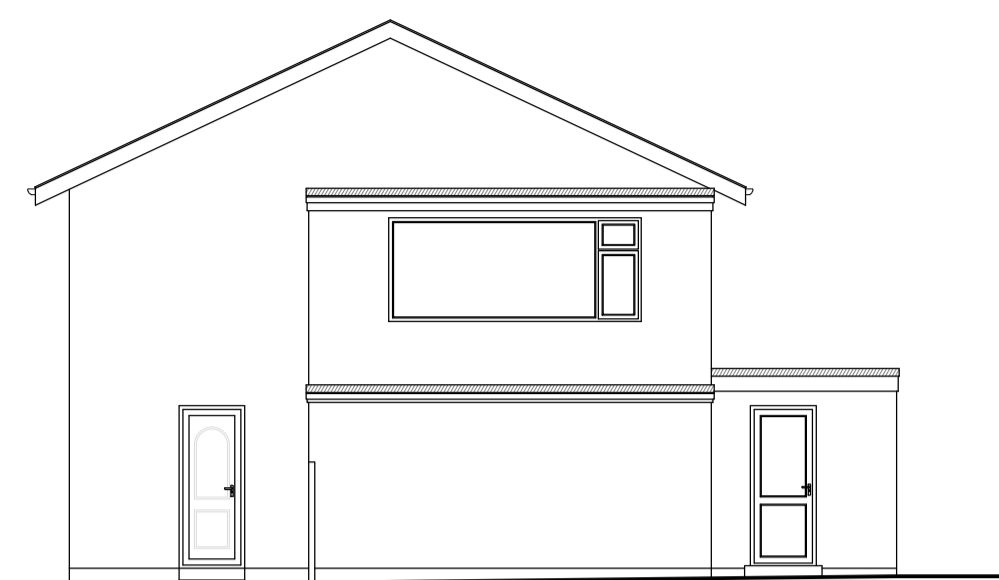
**Dwg. No.** 6157 - 01<sup>A</sup>



Block Plan

**General Notes.**  
Figured dimensions are to be used in preference to scaled dimensions. Contractors must check all dimensions and levels on site and any discrepancies found must be reported to the architects. All notes and specifications below shall be deemed to apply where relevant, unless other notes and specifications are stipulated on the drawing.  
**Structural Works.**  
All structural works are to be carried out in accordance with consulting engineers details and calculations and in accordance with relevant British Standard Codes of Practice.  
**Timber.**  
All new structural timbers are to be in accordance with B.S. 5268 part 2 2002, and to be double vacuumed impregnated by approved proprietary process. These drawings are to be read in strict accordance with structural engineers design, details and calculations.

**Workmanship and Site Practice.**  
All workmanship and site practice shall be carried out in accordance with good building practice and the current States of Guernsey Building Regulations which the contractor or nominated sub-contractor as the case may be shall be deemed to be familiar with.  
**Services**  
All services to be installed in strict accordance with relevant BS Codes of practice by specialists and to the satisfaction of all local authorities.  
**Heating:**  
Existing heating system to be to be extended into proposed playroom, fitted with thermostatically controlled alloy radiators or underfloor panels to client's later choice;  
**Internal Finishes.**  
All new doors, frames, architrave's, skirtings, covings, sills, curtain tracks, wall and floor finishes, sanitary fittings, etc'. and the like shall all be to clients later specification. On completion contractors to ensure that all unwanted materials have been removed and that the site has been totally cleared of all debris and is left clean and tidy.



South elevation (no change).



Proposed west elevation



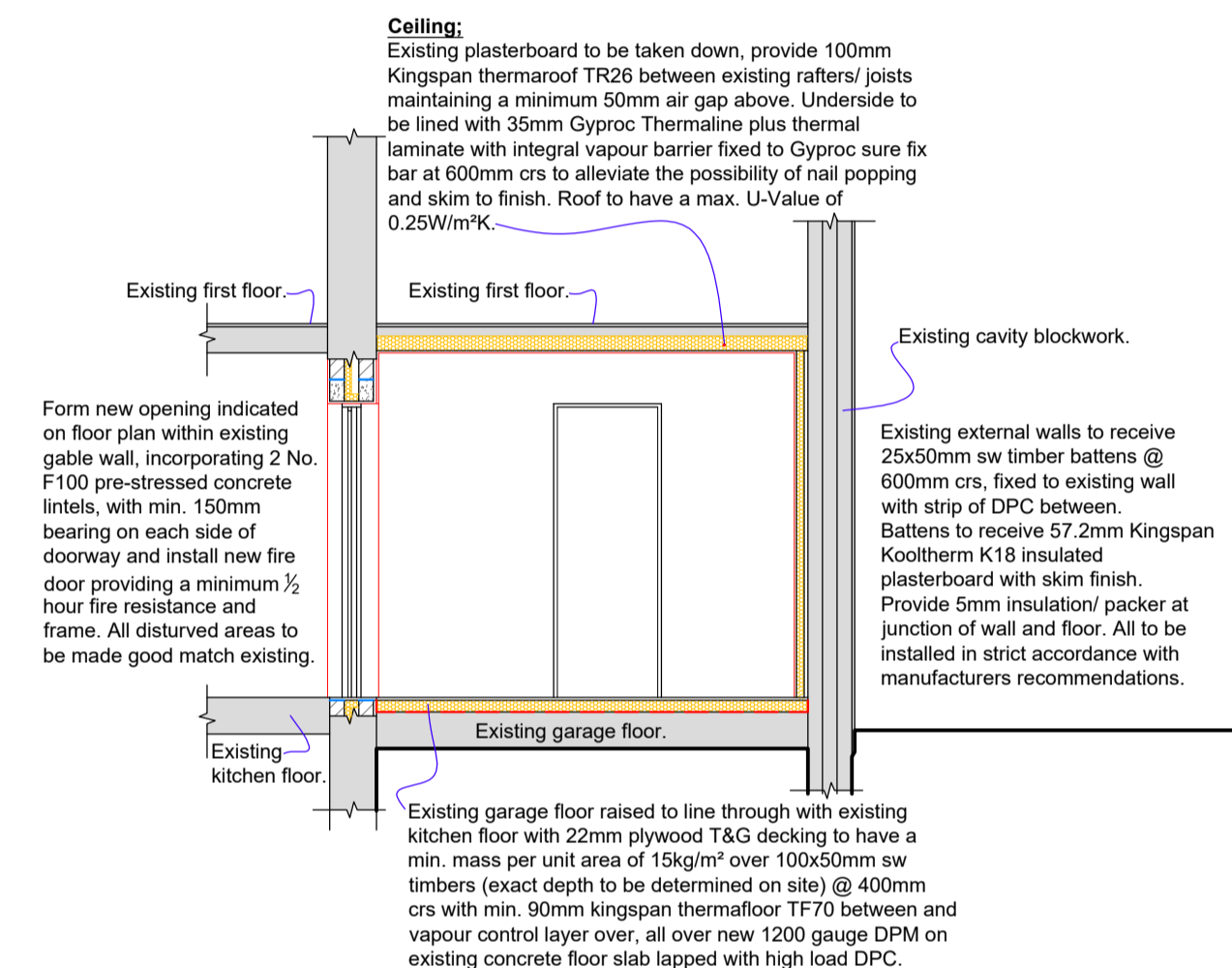
Proposed east elevation (no change).

White PVCU windows to match existing.

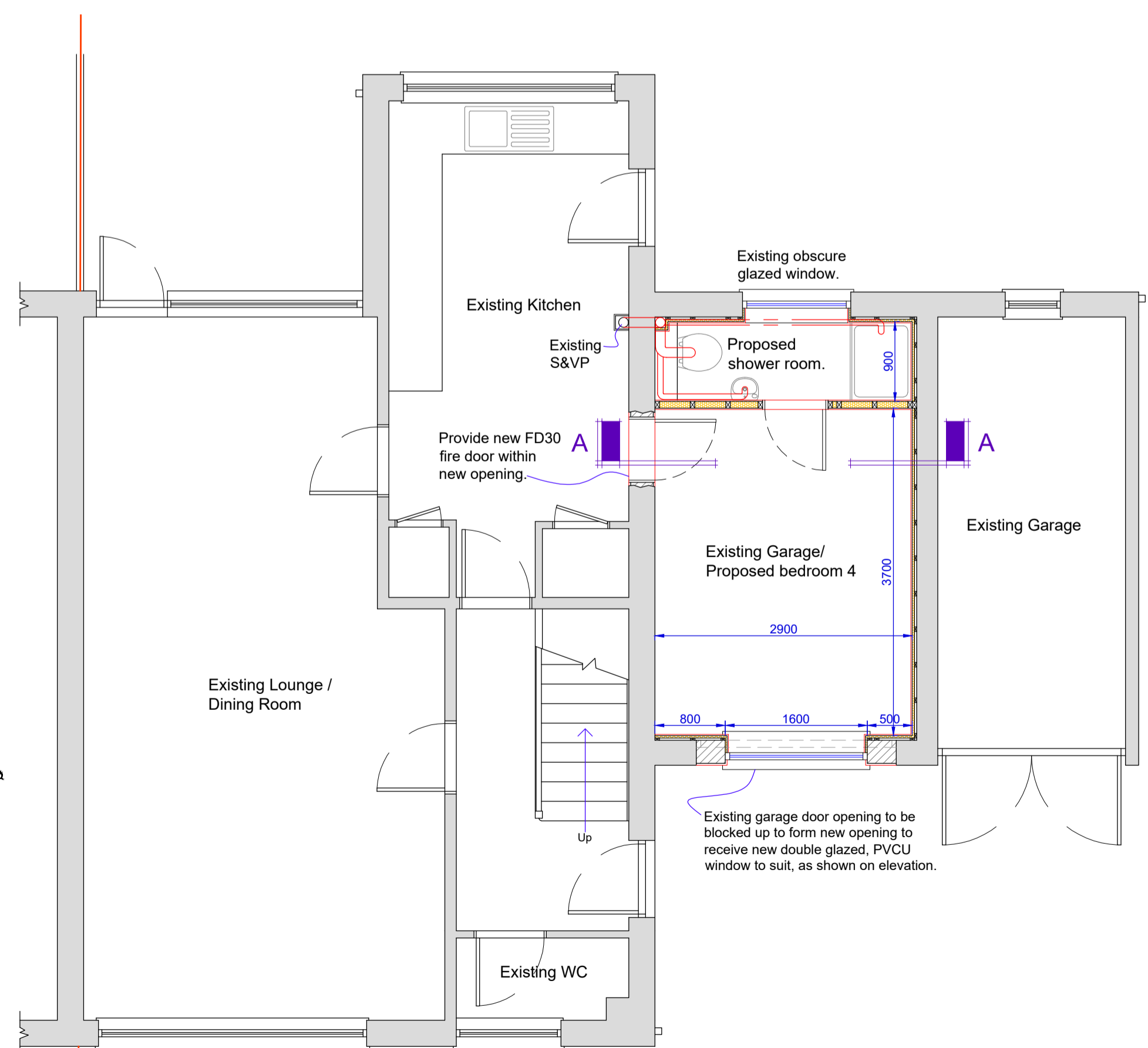
Painted smooth sand/ cement rendered finish to match existing.

**General**  
All sockets and switches to be located between 450 and 1200mm above finished floor level, exact height to clients later choice. All internal lighting to comply with table 4 and any external lighting with paragraph 1.57 of Approved Document L1.  
Make good to all areas disturbed to match existing finishes.  
**Windows and Doors.**  
New windows and doors to be white upvc double glazed units opening as indicated with extended upvc cills below externally set in sand/ cement mortar beds with dpc under. Trickle vents to be incorporated as standard. Window and door furniture shall be to clients later choice. Safety glass shall be incorporated to all areas with glazing below 800mm, capable of resisting forces set out in BS56399-1-1996. To comply with GTS K2 diagram 11. All escape windows to habitable rooms to have a max. sill height of 1100mm and an unobstructed opening area of 0.33m<sup>2</sup> with a min. dimension of 450mm. All to comply with GTS part B, Vol. 1, paragraphs 2.4 & 2.8.  
All windows to achieve a U Value of 2.0 W/m<sup>2</sup>K.

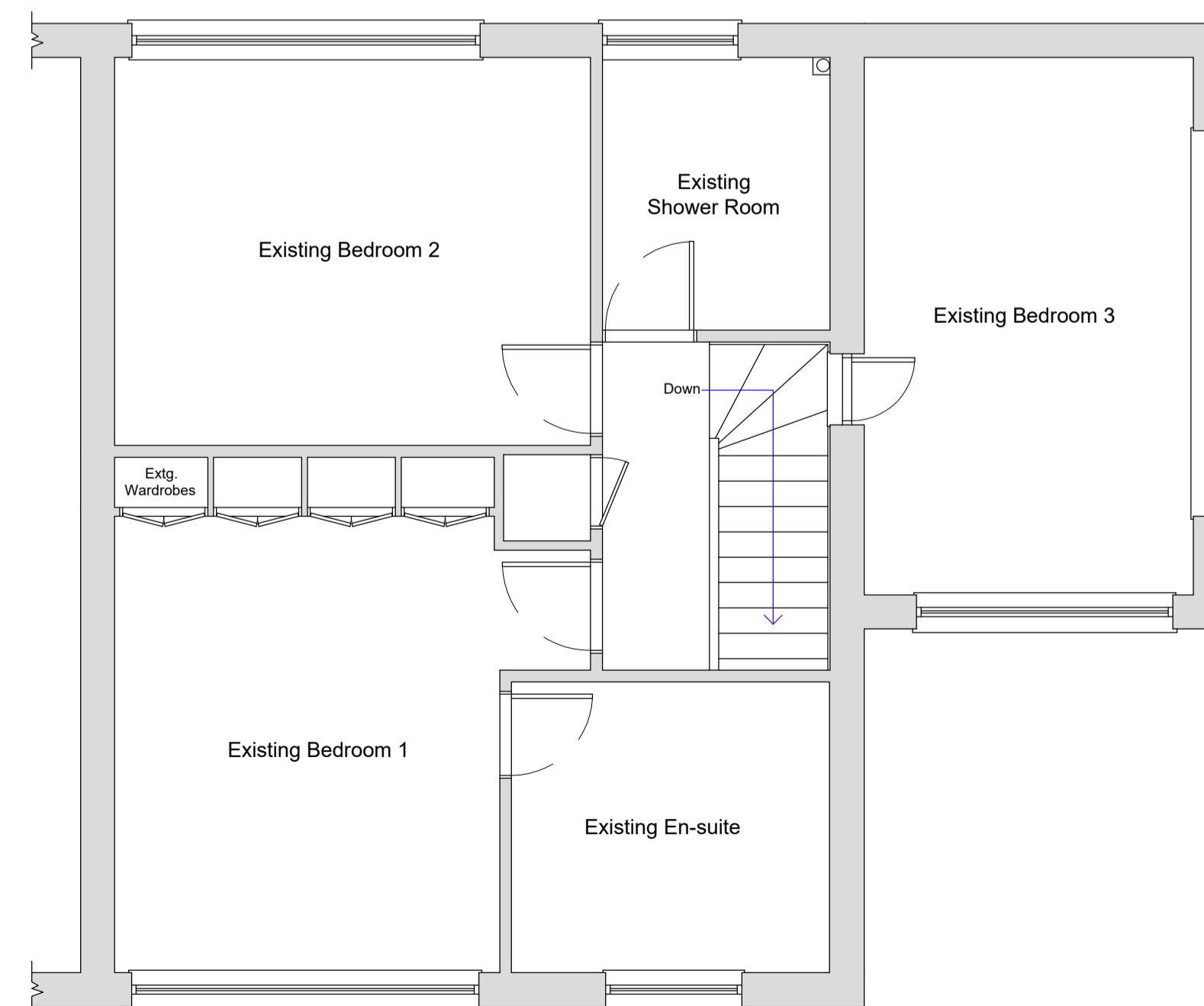
**Sanitary Accommodation.**  
New sanitary fittings shall be to clients later choice of design with wastes from fittings discharging into existing foul drainage arrangement, as shown on floor plan, all to be carried out in strict accordance with B.S. 8301 and B.S. 5572. Bathrooms to receive mechanical ventilation capable of extracting air at a rate of no less than 3 air changes per hour with 15 minute over run operated from light switch, vent to be taken out to fresh air through wall, provide all necessary lead flashings at roof level; All vents to terminate at ridge level through ridgevent tile. All works of plumbing and drainage to be carried out to BS 8000 & BSEN 752  
**Asbestos;**  
If the building (or part of it) is to be demolished, or undergo major refurbishment and has been constructed prior to 2000, you must have a demolition/ refurbishment (old "type 3") survey conducted by a qualified and competent asbestos surveyor. No work should commence on the area until the appropriate survey has been carried out. All as required by The Health and Safety at work (General) Guernsey Ordinance, 1987. More information is available from the Guernsey HSE Approved Code of Practice "Management of Exposure to Asbestos in Workplace Buildings and Structures".



Cross section A - A.



Proposed ground floor plan.



First floor plan (no change).