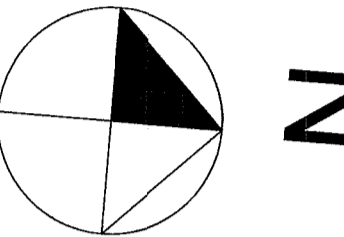


- GARAGE**
- Install rigid GRP sump/tanking membrane to falls over garage and plant area floors, extending 1.0m up walls.
 - Install a raised metal mesh deck over to allow cars to be parked above. Top of new raised mesh garage floor to be 275mm above existing floor.
 - Garage roof and structure to be raised by 275mm. Parapets to garage to be raised by the same to conceal new roof line.
 - Raise garage door openings by 275mm.
 - Provide step up into utility area, 175mm up from new raised metal mesh parking deck (total rise of 450 from existing garage floor).
 - Provide new proprietary flood door (StormMeister or similar). Door to be 2000m high and have a minimum 775mm clear opening, which opens at least 90°.
 - Install Caro WaterDoor or similar de-mountable flood defense barrier across garage door and internal utility entrance door.

- PAVING TO DRIVE**
- Paving to be re-levelled to provide falls away from the building entrances.



Example of Caro WaterWall De-Mountable Flood Barrier

- HEAT PUMP**
- Relocate heat pump to as shown, to provide full height weather protection behind masonry walling.
 - Provide canopy over heat pump by extending roof overhang
 - Heat pump to be positioned within acoustic enclosure as before.

- DEMOLITION**
- Dashed line denotes air source heat pump enclosure/bund to be demolished

- NEW ENCLOSURE TO EXTERNAL PLANT AREA**
- Enclose plant area and adjacent terrace, by extending line of existing walling as indicated.
 - New flat roof covering over, with parapet up-stand to west, to match adjacent.
 - New section of walling on the West and Southwest elevations to be blockwork finished with self coloured anti-crack render as elsewhere.
 - Install a raised metal mesh deck over enclosed floor area, at the same levels as the garage.
 - Provide new proprietary flood door set (StormMeister or similar), to match adjacent plant room.
 - Install Caro WaterWall or similar de-mountable flood defense barrier across doors.

- SCREEN WALL**
- Construct new screening wall, to same height as adjacent, and clad in matching stone. Southwest side of new wall to be part clad in stonework as adjacent and part blockwork finished with anti-crack render as elsewhere.
 - New blockwork chimney and Barbecue to be constructed within screen wall. Chimney flue to terminate through outlets on both Southwest and Northeast faces of new wall.

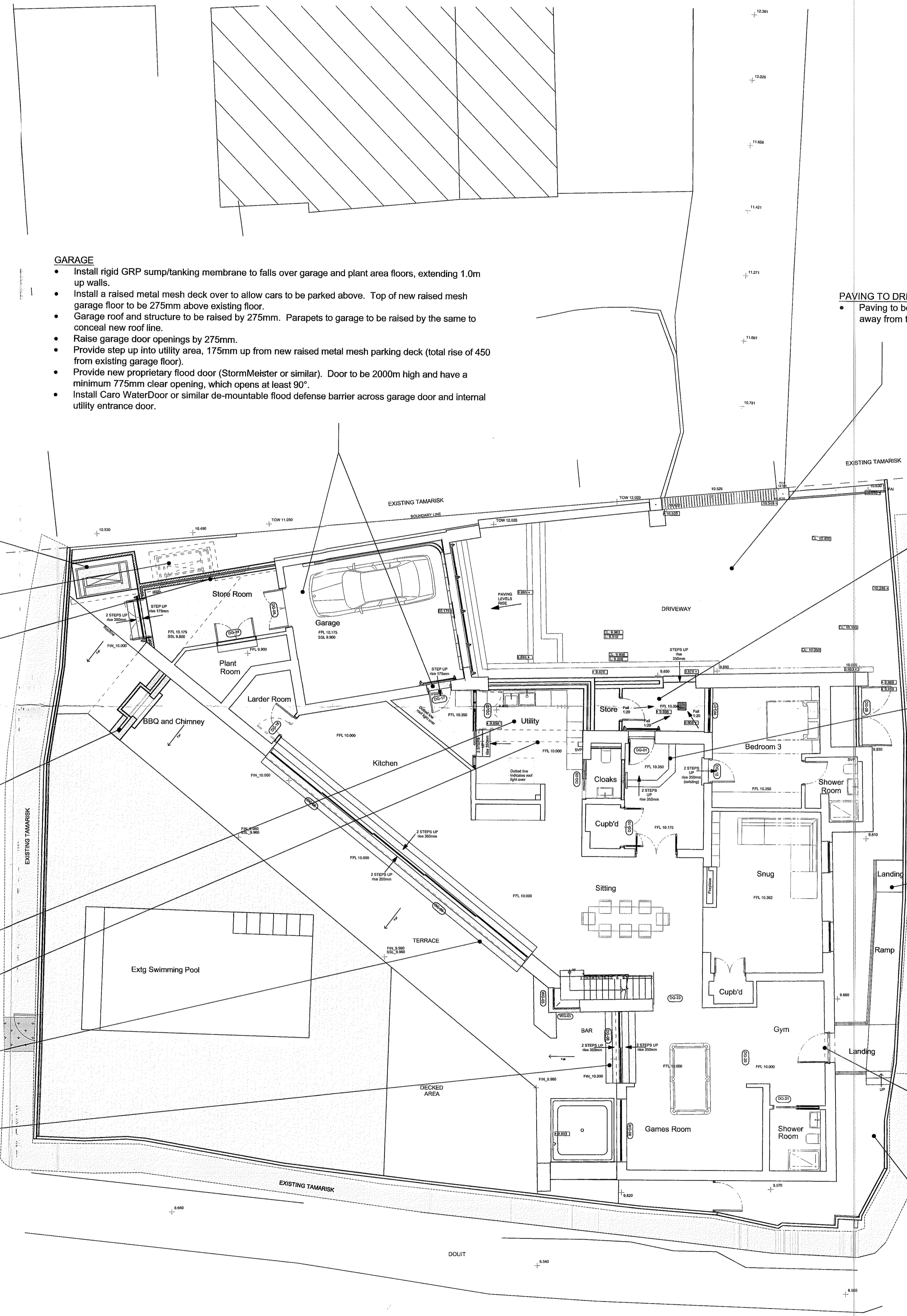
- UTILITY**
- Extend utility area using undercroft.

- DEMOLITION**
- Dashed line denotes wall to be demolished

- LARGE GLAZED DOORS - KITCHEN**
- Reduce height of doors by 350mm
 - Form steps either side of door, total rise 350mm

- LARGE GLAZED DOORS - GAMES ROOM**
- Reduce height of doors by 350mm
 - Form steps either side of door, total rise 350mm

- SUSTAINABLE DEVELOPMENT AND WASTE MANAGEMENT**
- New elements of construction will be designed to meet the current requirements of the Building Regulations, including insulation, drainage, materials, waste storage and disposal, and the conservation of fuel and power in accordance with IDP Policy GP9.
 - Demolished and waste materials will be sorted by the Contractor and where appropriate, recycled at approved Guernsey recycling facilities.



- FRONT ENTRANCE**
- Form raised landing area adjacent front door, with low wall inline with original stone work.
 - Top of wall to be approximately 1100mm above adjacent new landing level.
 - Provide steps to raised landing. Total rise 350mm
 - Move door opening up and provide new proprietary flood door (StormMeister or similar). Door to be 2000m high and have a minimum 775mm clear opening, which opens at least 90°.
 - Install Caro WaterDoor or similar de-mountable flood defense barrier across entrance door.
 - Provide drainage channel below entrance door and gully within landing
 - Form store cupboard adjacent entrance

- ENTRANCE HALL**
- Construct a raised platform within hall with 2 equal rises of 175mm.
 - Upper section to be level with bedroom 3. Restricted head room in this area (as bedroom 3).
 - Provide a section of stair with hand rail.

- DISABLED ACCESS RAMP AND PATH TO ALTERNATIVE ENTRANCE**
- Provide a 900mm wide approach path
 - Provide a 900mm wide ramp at a maximum gradient of 1:12. Total rise 340mm
 - Form a landing at the top of the ramp 1200mm long.
 - Landing area adjacent door to be formed from stainless steel mesh, to allow drainage, as indicated. Area below mesh landing to be open to allow clear path for surface water discharge.
 - Provide stainless steel mesh infill below handrail, with spacing of opening no greater than 90mm. Provide hand rails at 900mm above ramp level and 1100mm above landing.
 - Provide 100mm up-stand to side ramp

- DISABLED ACCESS ALTERNATIVE ENTRANCE**
- Provide an entrance with a minimum 775mm clear opening, which opens at least 90°.
 - Door to have glazed vision panels in accordance with GTS part M.
 - Door style to Clients later confirmation

- EXTERNALS**
- Provide new paving to areas as shown, to be Fompave, as drive

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Important Note:
Figured Dimensions where shown should be used in all circumstances. Where no dimensions exist or if any discrepancies are found report to Architects.
DO NOT scale from electronic or hard copy drawings.
Electronic files must be checked against a hardcopy of the drawing.
The Contractor must check all dimensions & levels on site and any discrepancies found, reported to the Architects.
The information shown on the drawing should be referred to architectural design only. Civil, Structural, Building Services and other specialist information shown on this drawing is notional and for indicative purposes only. Refer to specialists/consultant drawings.

PLANNING PERMISSION
(See decision notice for details)
LAND PLANNING & DEVELOPMENT LAW
12 MAR 2019
T. P. O.
DEVELOPMENT CONTROL

Digimap Ref: 29
Status
Planning

Revisions

No.	Description

LOVELL OZANNE
Chartered Architects and Surveyors

project
Alterations at Bellagio
Rue De La Rocque Poisson
St Peters, Guernsey
For
Mr J Langmead

title
Access and flood mitigation
alterations – Ground Floor Plan
scale 1:100 @ A1
date October 2018 drawn AWR/CE

drawing number A1832 – 11
revision

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