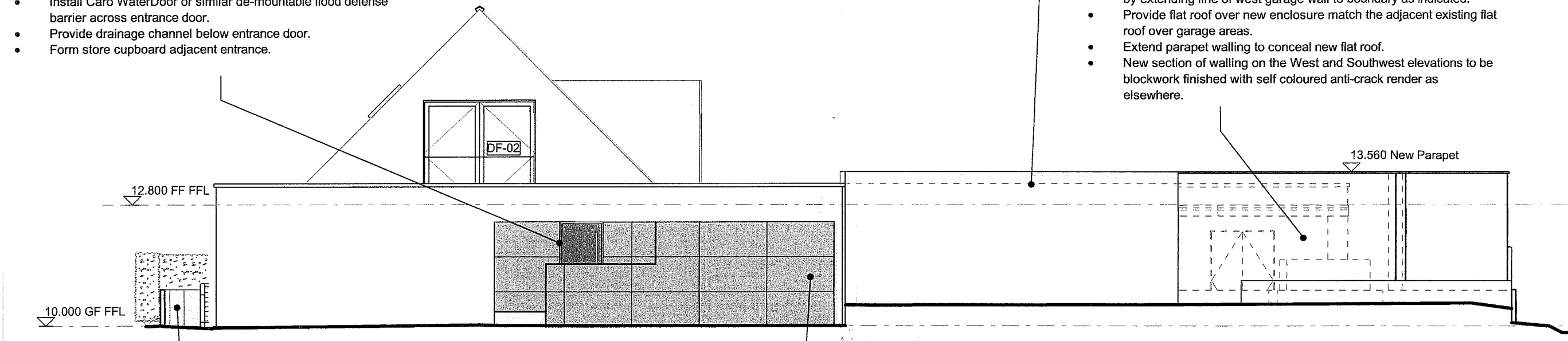


- FRONT ENTRANCE**
- Form raised landing area adjacent front door, with low wall inline with original stone work.
  - Top of wall to be approximately 1100mm above new landing level.
  - Provide steps to raised landing. Total rise 350mm
  - Move door opening up and provide new proprietary flood door (StormMeister or similar). Door to be 2000mm high and have a minimum 775mm clear opening, which opens at least 90°.
  - Install Caro WaterDoor or similar de-mountable flood defense barrier across entrance door.
  - Provide drainage channel below entrance door.
  - Form store cupboard adjacent entrance.



- NORTH BOUNDARY**
- Construct rendered blockwork wall inside existing hedge line. Finish to match rendered wall to East elevation.
  - Top of wall to be approximately 900mm above adjacent ground levels.

- UNDERCROFT**
- Extend utility area within previous undercroft.
  - Clad new walling with slate grey Porcelain tiles to match parapet capping.

**WEST ELEVATION**

Scale 1:100 @ A1

**DISABLED ACCESS ALTERNATIVE ENTRANCE**

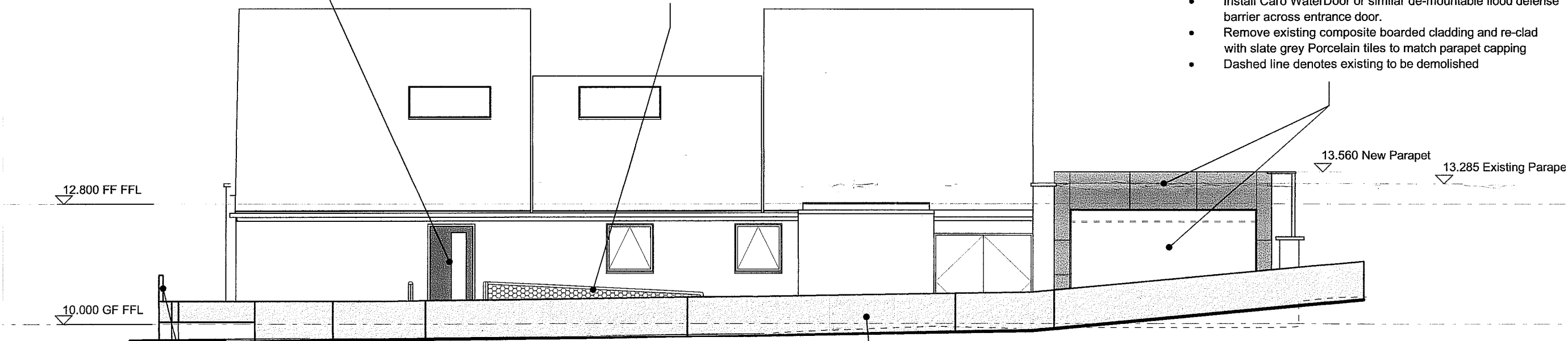
- Provide an entrance with a minimum 775mm clear opening, which opens at least 90°.
- Door to have glazed vision panels in accordance with GTS part M.
- Door style to Clients later confirmation

**DISABLED ACCESS RAMP AND PATH TO ALTERNATIVE ENTRANCE**

- Provide a 900mm wide ramp at a maximum gradient of 1:12. Total rise 340mm
- Form a landing at the top of the ramp 1200mm long.
- Landing area adjacent door to be formed from stainless steel mesh, to allow drainage, as indicated. Area below mesh landing to be open to allow clear path for surface water discharge.
- Provide stainless steel mesh infill below handrail, with spacing of opening no greater than 90mm. Provide hand rails at 900mm above ramp level and 1100mm above landing.
- Provide 100mm up-stand to side ramp

**GARAGE**

- Garage roof and structure to be raised by 275mm. Parapets to garage to be raised by the same to conceal new roof line.
- Raise garage door openings by 275mm.
- Install Caro WaterDoor or similar de-mountable flood defense barrier across entrance door.
- Remove existing composite boarded cladding and re-clad with slate grey Porcelain tiles to match parapet capping
- Dashed line denotes existing to be demolished



- EAST BOUNDARY**
- Increase height of existing rendered blockwork walling. Finish to match existing
  - Top of wall to be 1200mm above terrace adjacent to the boundary

- NORTH BOUNDARY**
- Construct rendered blockwork wall inside existing hedge line. Finish to match rendered wall to East elevation.
  - Top of wall to be approximately 900mm above adjacent ground levels.

**NORTH ELEVATION - Viewed from beyond site**

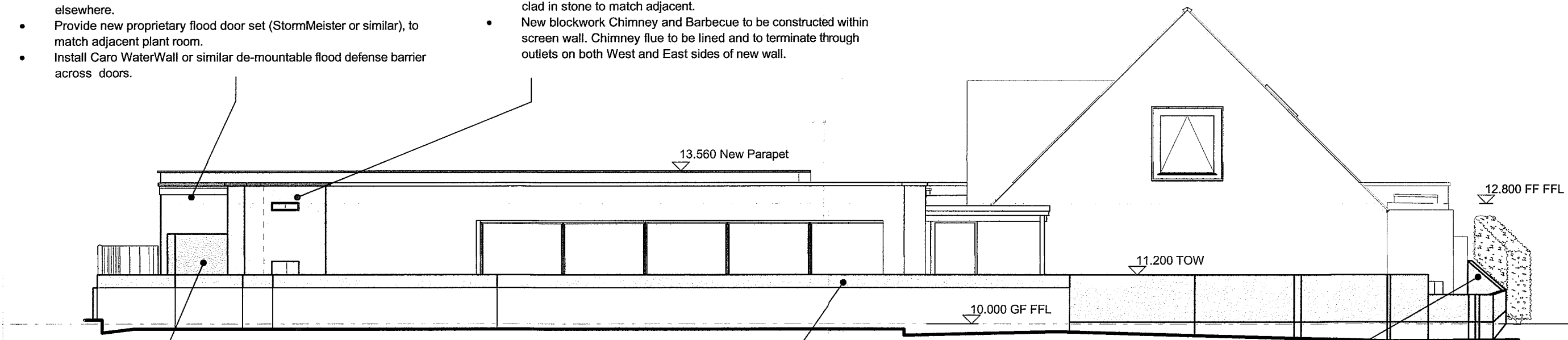
Scale 1:100 @ A1

**NEW ENCLOSURE TO EXTERNAL PLANT AREA**

- Enclose plant area and adjacent terrace, by extending line of existing walling as indicated.
- New flat roof covering over, with parapet up-stand to west, to match adjacent.
- New section of walling on the West and Southwest elevations to be blockwork finished with self coloured anti-crack render as elsewhere.
- Provide new proprietary flood door set (StormMeister or similar), to match adjacent plant room.
- Install Caro WaterWall or similar de-mountable flood defense barrier across doors.

**SCREEN WALL**

- New screening wall, built to same height as adjacent (3.3m) and clad in stone to match adjacent.
- New blockwork Chimney and Barbecue to be constructed within screen wall. Chimney flue to be lined and to terminate through outlets on both West and East sides of new wall.



- HEAT PUMP**
- Relocate heat pump to as shown, to provide weather protection behind masonry walling.
  - Provide canopy over heat pump by extending roof overhang

- EAST BOUNDARY**
- Increase height of existing rendered blockwork walling. Top of wall to be 1200mm above terrace adjacent to the boundary. Finish to match existing

- NORTH BOUNDARY**
- Construct rendered blockwork wall inside existing hedge line. Finish to match rendered wall to East elevation
  - Top of wall to be approximately 900mm above adjacent ground levels.

**EAST ELEVATION - Viewed from beyond site**

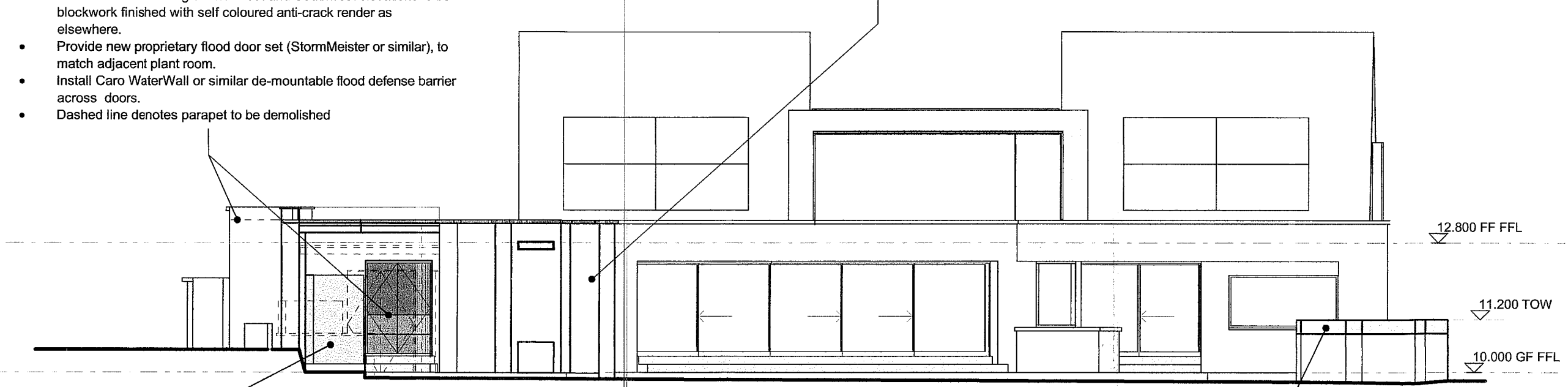
Scale 1:100 @ A1

**NEW ENCLOSURE TO EXTERNAL PLANT AREA**

- Construct wall to enclose plant area and adjacent external terrace, by extending line of west garage wall to boundary as indicated.
- Provide flat roof over new enclosure match the adjacent existing flat roof over garage areas.
- Extend parapet walling to conceal new flat roof.
- New section of walling on the West and Southwest elevations to be blockwork finished with self coloured anti-crack render as elsewhere.
- Provide new proprietary flood door set (StormMeister or similar), to match adjacent plant room.
- Install Caro WaterWall or similar de-mountable flood defense barrier across doors.
- Dashed line denotes parapet to be demolished

**SCREEN WALL**

- New screening wall, built to same height as adjacent and clad with stone to match adjacent wall.
- New blockwork Chimney and Barbecue to be constructed within screen wall. Chimney flue to be lined and to terminate through outlets on both West and East sides of new wall.



**HEAT PUMP**

- Relocate heat pump to as shown, to provide full height weather protection behind masonry walling.
- Provide canopy over heat pump by extending flat roof overhang

**EAST BOUNDARY**

- Increase height of existing rendered blockwork walling. New finish to match existing. Top of wall to be 1200mm above terrace adjacent to the boundary

**SOUTH ELEVATION**

Scale 1:100 @ A1

**DISABLED ACCESS ALTERNATIVE ENTRANCE**

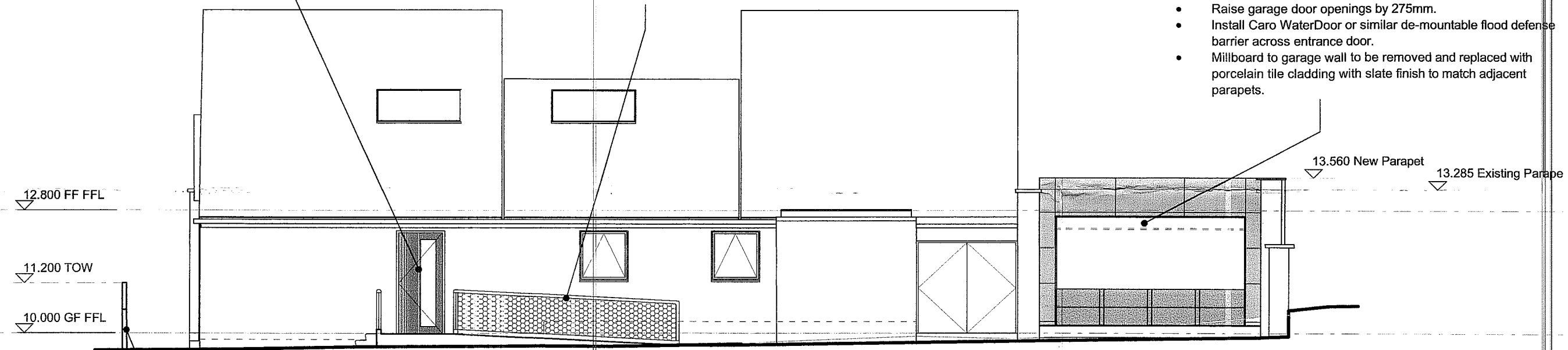
- Provide an entrance with a minimum 775mm clear opening, which opens at least 90°.
- Door to have glazed vision panels in accordance with GTS part M.
- Door style to Clients later confirmation

**DISABLED ACCESS RAMP AND PATH TO ALTERNATIVE ENTRANCE**

- Provide a 900mm wide ramp at a maximum gradient of 1:12. Total rise 340mm
- Form a landing at the top of the ramp 1200mm long.
- Landing area adjacent door to be formed from stainless steel mesh, to allow drainage, as indicated. Area below mesh landing to be open to allow clear path for surface water discharge.
- Provide stainless steel mesh infill below handrail, with spacing of opening no greater than 90mm. Provide hand rails at 900mm above ramp level and 1100mm above landing.
- Provide 100mm up-stand to side ramp

**GARAGE**

- Garage roof and structure to be raised by 275mm. Parapets to garage to be raised by the same to conceal new roof line.
- Raise garage door openings by 275mm.
- Install Caro WaterDoor or similar de-mountable flood defense barrier across entrance door.
- Millboard to garage wall to be removed and replaced with porcelain tile cladding with slate finish to match adjacent parapets.



- EAST BOUNDARY**
- Increase height of existing rendered blockwork walling. Top of wall to be 1200mm above terrace adjacent to the boundary. Finish to match existing

**NORTH ELEVATION - Viewed from within site**

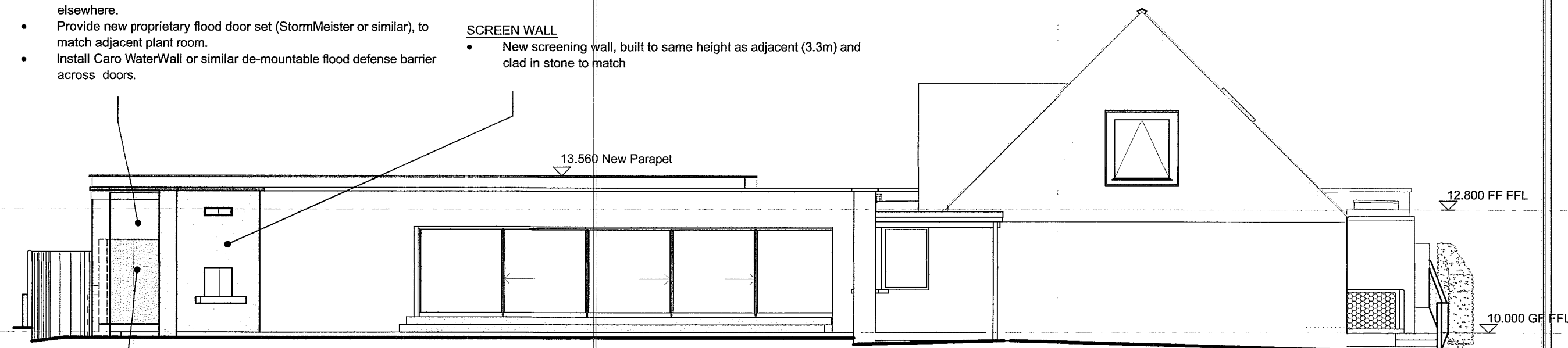
Scale 1:100 @ A1

**NEW ENCLOSURE TO EXTERNAL PLANT AREA**

- Enclose plant area and adjacent terrace, by extending line of existing walling as indicated.
- New flat roof covering over, with parapet up-stand to west, to match adjacent.
- New section of walling on the West and Southwest elevations to be blockwork finished with self coloured anti-crack render as elsewhere.
- Provide new proprietary flood door set (StormMeister or similar), to match adjacent plant room.
- Install Caro WaterWall or similar de-mountable flood defense barrier across doors.

**SCREEN WALL**

- New screening wall, built to same height as adjacent (3.3m) and clad in stone to match



- HEAT PUMP**
- Relocate heat pump to as shown, to provide weather protection behind masonry walling.
  - Provide canopy over heat pump by extending roof overhang

**EAST ELEVATION - Viewed from within site**

Scale 1:100 @ A1

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**Important Note:**

Figured Dimensions where shown should be used in all circumstances. Where no dimensions exist or if any discrepancies are found report to Architects.

DO NOT scale from electronic or hard copy drawings.

Electronic files must be checked against a hardcopy of the drawing.

The Contractor must check all dimensions & levels on site and any discrepancies found, reported to the Architects.

The information shown on the drawing should be referred to for architectural design only. Civil, Structural, Building Services and other specialist information shown on this drawing is notional and for indicative purposes only. Refer to specialist consultant drawings.

**PLANNING PERMISSION**  
(See decision notice for details)  
**LAND PLANNING & DEVELOPMENT LAW**  
12 MAR 2019  
TCR  
**DEVELOPMENT CONTROL**

**Digimap Ref: 29**  
**Status**  
**Planning**

**Revisions**

No.	Description

**LOVELL OZANNE**  
Chartered Architects and Surveyors

project  
Alterations at Bellagio  
Rue De La Rocque Poisson  
St Peters, Guernsey  
For  
Mr J Langmead

title  
Access and flood  
mitigation alterations – Elevations

scale 1:100 @ A1

date October 2018 drawn AWR/CE

drawing number A1832 - 12

**revision**

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